

BUILDERS NOTICE

The Contractor or Owner warrants to the Architect that he possesses the particular competence and skill in construction necessary to build this project without full engineering and architectural services; and for whatever reason, that he wishes to rely upon his own competence, knowledge and skills, the Contractor or Owner has restricted the Architect's and Engineer's scope of professional services, in reliance on the Contractor's warranties, and at the express request of the Contractor or Owner, the Architect has undertaken a limited scope of professional services. The Construction Documents provided by the limited services shall be termed "Builder's Set" in recognition of the Contractor's or Owner's ability to execute the project. Construction will require that the Contractor or Owner adapt the "Builder's Set" to the field conditions encountered and make logical adjustments in fit, form, dimension and quantity that are treated only generally by the "Builder's Set". In the event additional details or guidance is needed by the Contractor or Owner for construction of any aspect of this project, they shall immediately notify the Architect. Failure to give a simple notice shall relieve the Architect of any responsibility for the consequences.

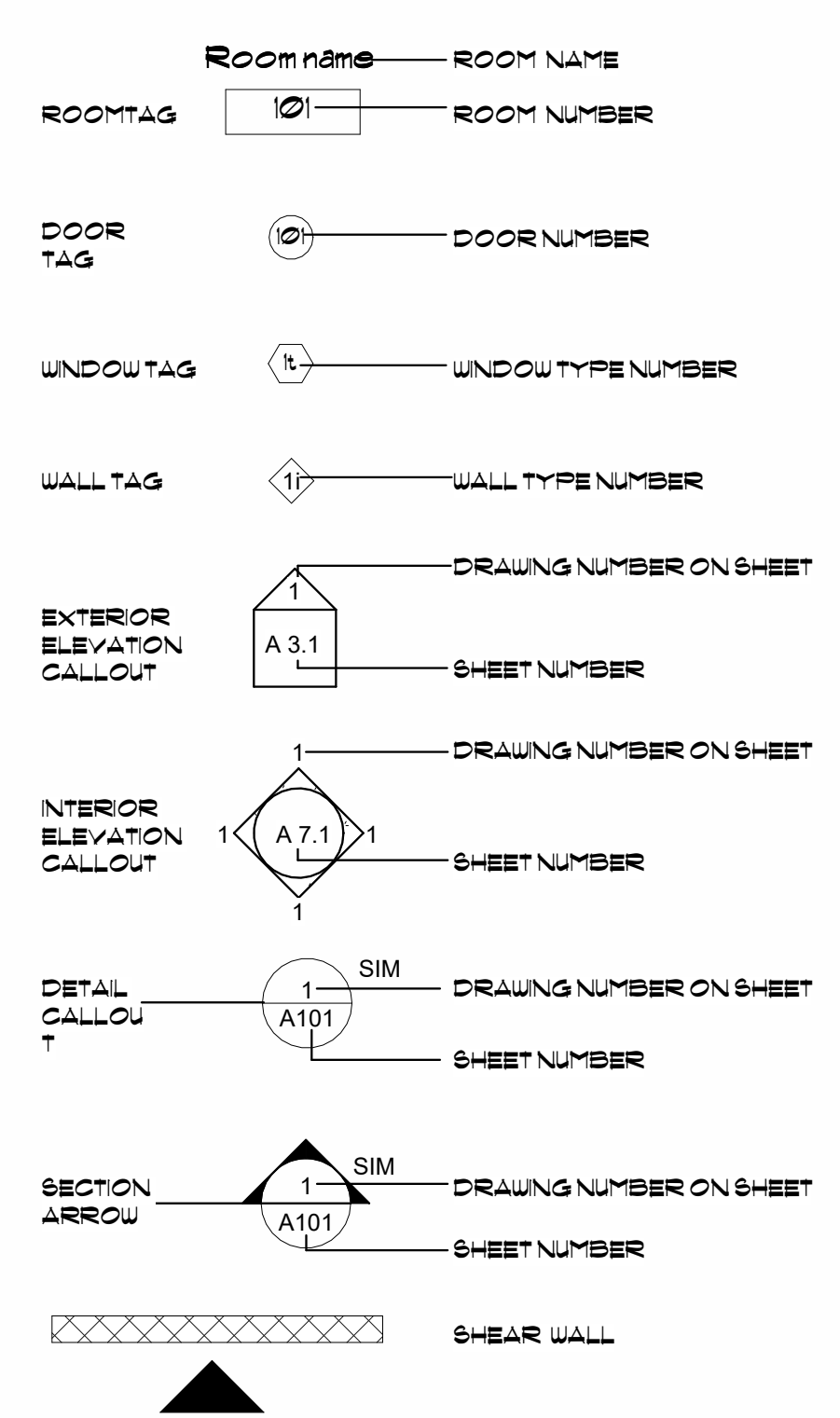
GENERAL NOTES

- All work shall conform with all applicable state and local codes and ordinances and with accepted local standards of the trades.
- The General Contractor shall inform the Architect of any costs of materials, labor, overhead, and profit which are caused by any changes or additions in the work intended by these plans prior to ordering materials and proceeding with the work.
- All dimensions shall be verified at the site before commencing any work. In case of any discrepancies, errors or omissions to the drawings, the General Contractor shall notify the Architect in writing prior to commencing that portion of work.
- All dimensions to take precedence over scale shown on plans.
- It will be assumed that each trade has accepted the quality of the work of others upon which his work must be applied, unless the Architect and Owners informed the contrary at least 24 hours before commencing work.
- The Contractor shall carefully study and compare the construction documents and shall report to the Architect any error, inconsistencies or omissions that may be discovered. Further, the Contractor shall not proceed with any work which he believes to be contrary to his knowledge of good construction standards and practices and shall not use any substandard materials.
- The General Contractor shall be responsible to the Owner for the acts and omissions of all his employees and others involved in the completion of work contracted.
- All Sub-contractors shall inform the General Contractor/Owner of his work schedule and any anticipated changes that may occur in that schedule.
- All Sub-contractors shall be expected to inspect the site for conditions affecting work that they are bidding and shall be responsible for anticipating the effects of those conditions upon their work.
- Minor details not usually shown or specified but necessary for the proper installation or performance with codes or standards listed or depicted herein shall be included in the work.
- All work and material or equipment shall be guaranteed for a minimum of one year from date of substantial completion.
- Dimensions shall take precedence over graphic representations. Scaling of the drawings for dimensions is not acceptable. Larger details and drawings take precedence over smaller scaled drawings. Notes and details on drawings shall take precedence over general notes and typical details.
- Relative reference elevation of "100'-0"
- Protect and maintain benchmarks for the duration of the project.
- Protect all existing trees, vegetation and structures from damage or removal except those indicated in the drawings or approved by the Owner.
- Take care to provide continuous insulation, vapor barriers, ventilation and seals during each portion of the work to provide a protected, energy efficient structure.
- Individual prints or partial sets of prints shall be considered a part of the whole set of these construction documents for this project. The recipient of individual prints or partial sets shall be held responsible for information and design intent not represented on the individual sheets or partial sets.

TOWN OF RICO ROAD & BRIDGE MAINTENANCE FACILITY



GRAPHIC SYMBOLS



SHEET INDEX

DRAWING INDEX	
SHEET NUMBER	SHEET NAME
TI	TITLE
CI-0	CIVIL
SD-1	SITE PLAN
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A002	ACCESSIBILITY REQUIREMENTS
A101	FLOOR PLAN
A201	ROOF PLAN
A301	BUILDING ELEVATIONS
A401	BUILDING SECTIONS
AS01	SCHEDULES
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611	LOWER ROOF PLAN
612	MAIN ROOF LEVEL PLAN
620	FOUNDATION DETAILS
621	FOUNDATION DETAILS
630	SECTIONS & DETAILS
631	SECTIONS & DETAILS
640	SECTIONS & DETAILS
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M1-1	MECHANICAL PLANS
M1-2	RADIANT PLANS
M3-1	MECHANICAL SCHEDULES
M3-2	MECHANICAL DETAILS
M3-3	MECHANICAL DETAILS
P0-1	PLUMBING COVER SHEET
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E0-1	ELECTRICAL COVER SHEET
E1-1	LIGHTING PLANS
E1-3	LIGHTING DETAILS
E1-4	LIGHTING NOTES & SCHEDULES
E2-1	POWER PLANS
E3-1	ELECTRICAL SCHEDULES
E3-2	ELECTRICAL DETAILS
E3-3	LIGHTING SITE PLAN

PROJECT DIRECTORY

OWNER: CHAUNCEY MCCARTHY, TOWN MANAGER
2 COMMERCIAL RICO, COLORADO
O: 970-867-2863
townmanager@ricocolorado.gov

ARCHITECT: JANET WILEY - ARCHITECTS, P.C.
1309 EAST 3RD AVENUE, DURANGO, CO 81301
PH: 970-946-7633
janet@jwadurango.com

STRUCTURAL ENGINEER: BILL HICKAM, PE, SE
GOFF ENGINEERING & SURVEYING, INC
26 ROCK POINT DRIVE, SUITE A DURANGO, CO 81301
(970) 247-1105 x03
bhickam@goffengineering.com

MECHANICAL, PLUMBING & ELECTRICAL ENGINEER: MARK HARRINGTON, PE
BIG HORN CONSULTING ENGINEERS
386 INDIAN ROAD GRAND JUNCTION, CO 81501
(970) 241-8709
mark@bighorneng.com

BUILDER: TBD

PROJECT DATA

TYPE: TOWN MAINTENANCE FACILITY

LOCATION: TRACT 8, PORTION SECTION 35 T4 ON RIW NMPM RICO RIVER CORRIDOR LYING WITHIN THE TOWN OF RICO, COUNTY OF DOLORES, STATE OF COLORADO

PARCEL #X: ZONE: INDUSTRIAL

LOT SIZE: 3.99 ACRES

PROPOSED FACILITY:
-VEHICLE BAYS - 3224 SF
-OFFICE/STORAGE - 121 SF
-CARPORT - 953 SF

TOTAL INTERIOR: 3398 SF

APPLICABLE CODES:
2006 IBC INTERNATIONAL BUILDING CODE
2006 IMC INTERNATIONAL MECHANICAL CODE
2006 IPC INTERNATIONAL PLUMBING CODE
2006 IFI INTERNATIONAL FIRE CODE
2020 NEC Electrical Code

OCCUPANCY: S1 - MOTOR VEHICLE REPAIR

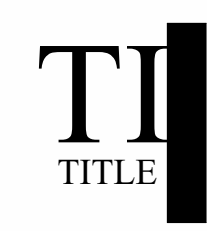
CONSTRUCTION TYPE: V-N

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PICKER STREET
RICO, COLORADO

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Project number: 22-108
Author: JWA
Checked By:
Issue Date: 5/10/2023



GENERAL SITE NOTES



Project number
 Drawn By
 Checked By

22-108
 jw
 JWA

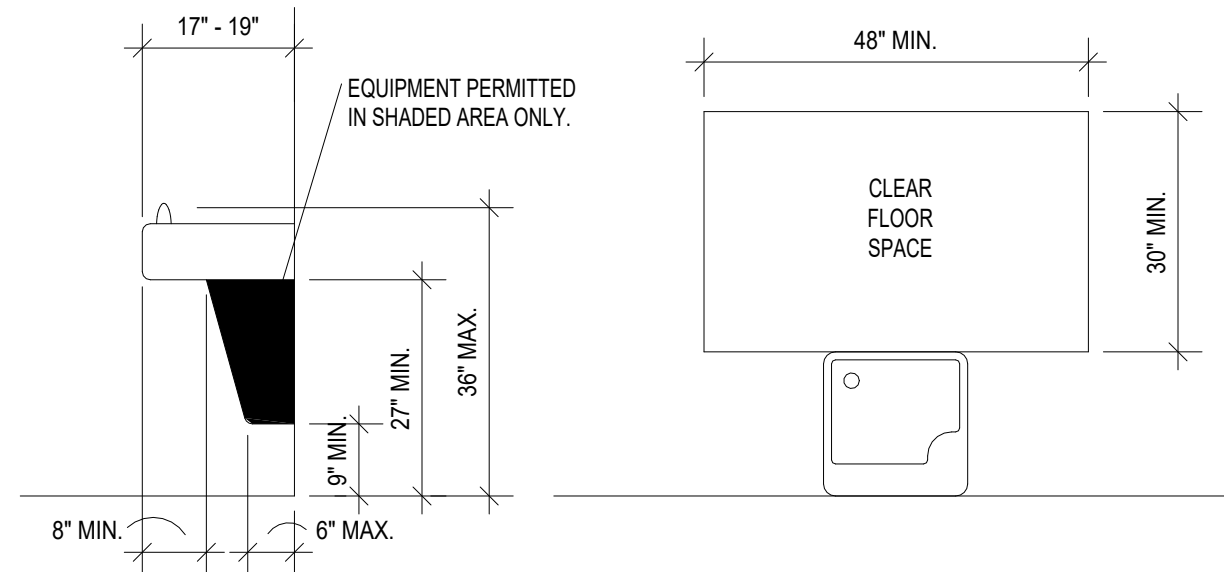
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 Date

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 2/10/2023

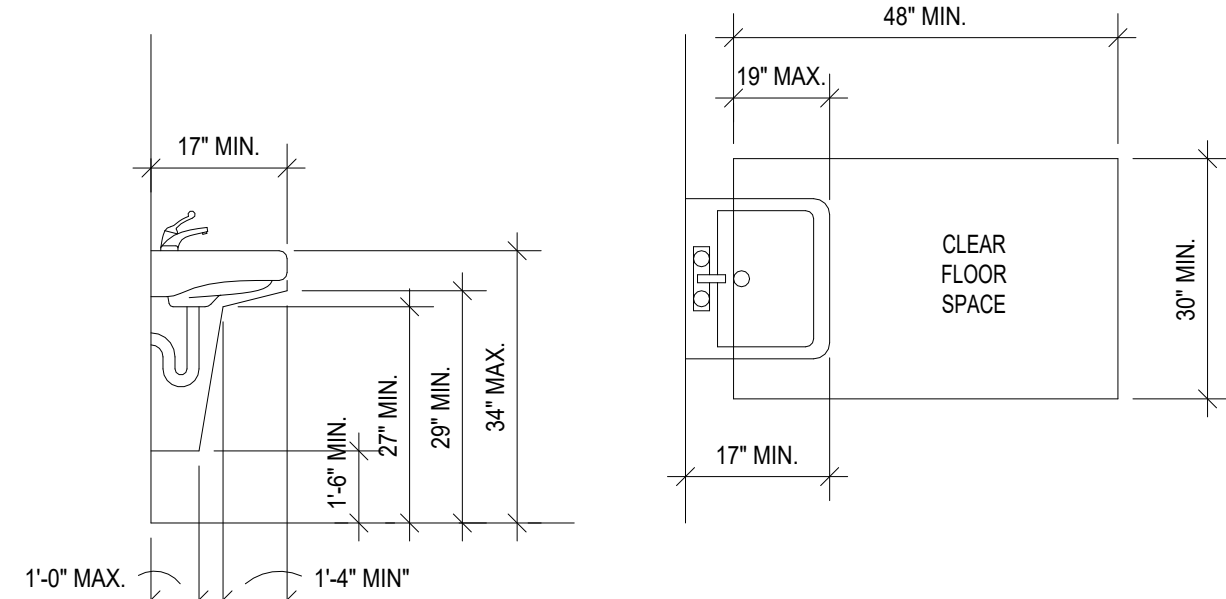
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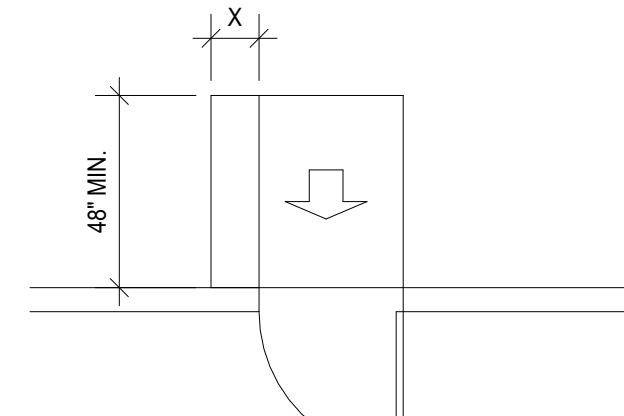
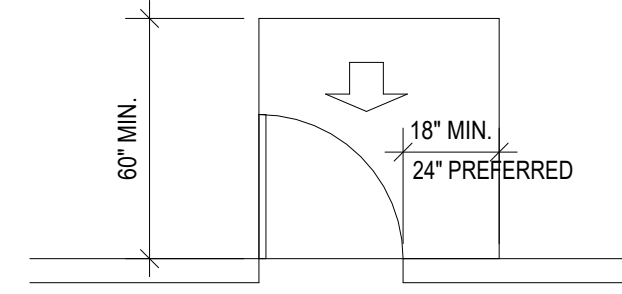
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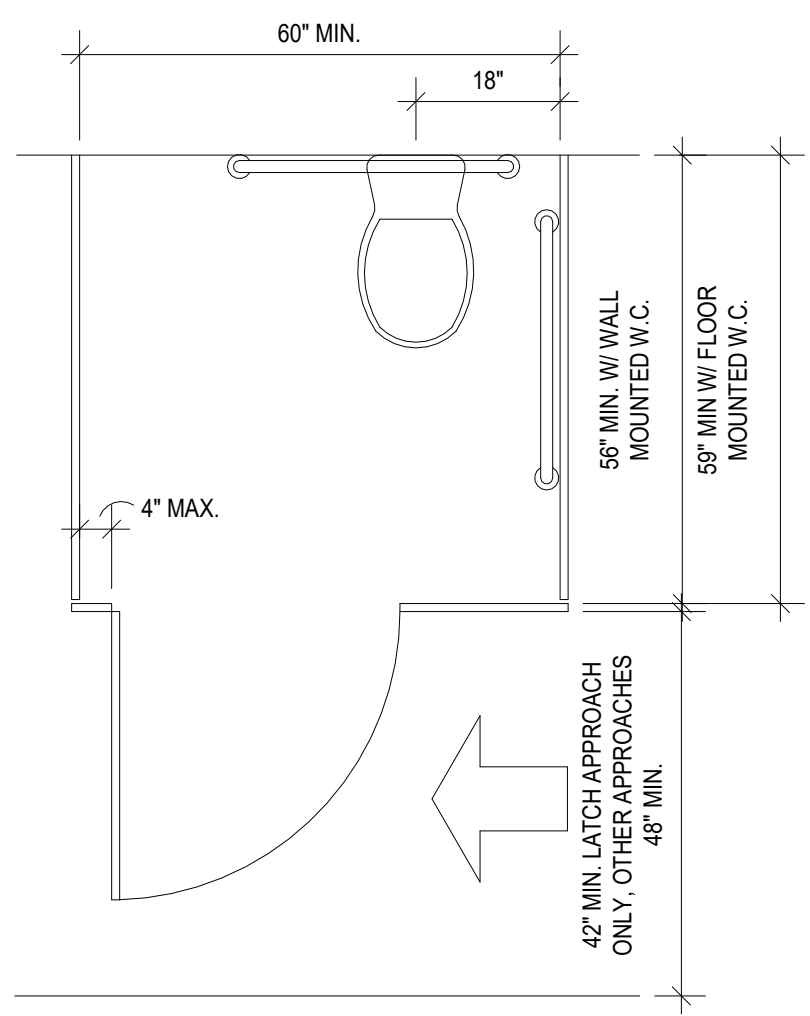
DRINKING FOUNTAIN - CLEARANCES



LAVATORY - CLEARANCES

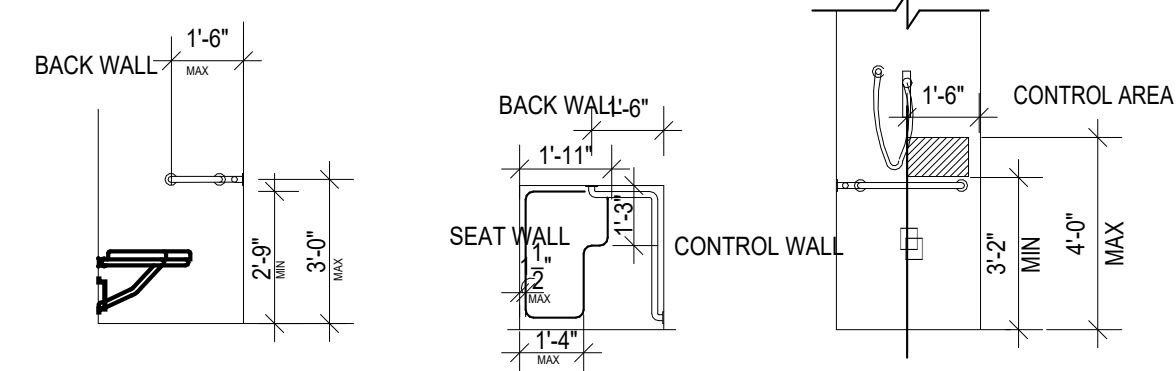


NOTE: X=12" MIN. IF DOOR HAS BOTH A CLOSER AND A LATCH.

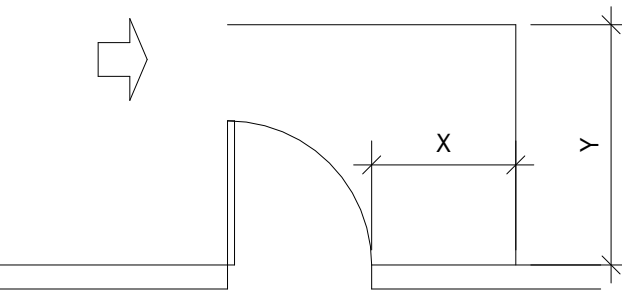


STANDARD STALL

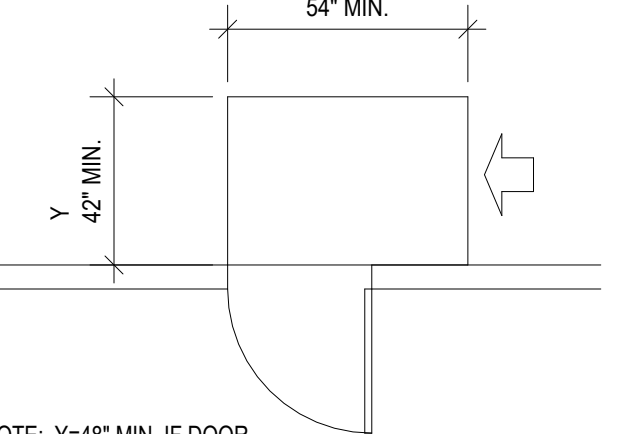
TOILET STALLS
ADA ACCESSIBILITY STANDARDS



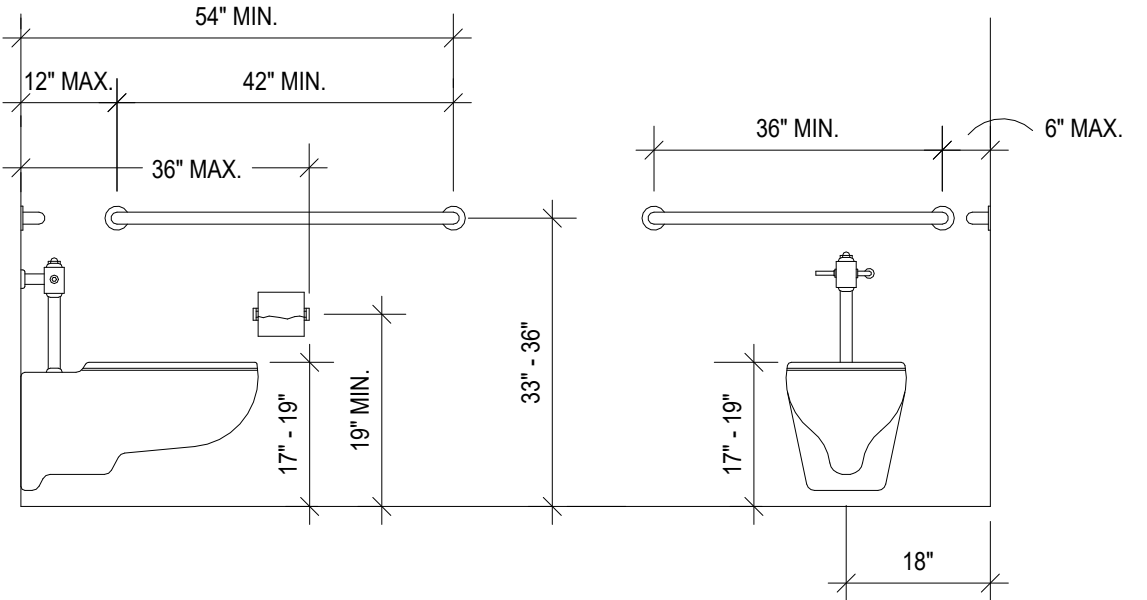
SHOWER - CLEARANCES



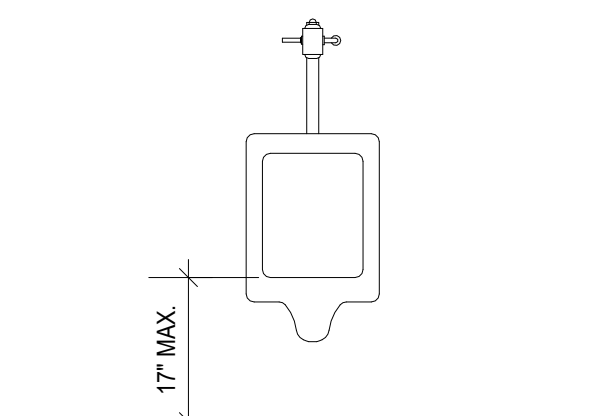
NOTE: X=36" MIN. IF Y=60" MIN.;
X=42" MIN. IF Y=54" MIN.



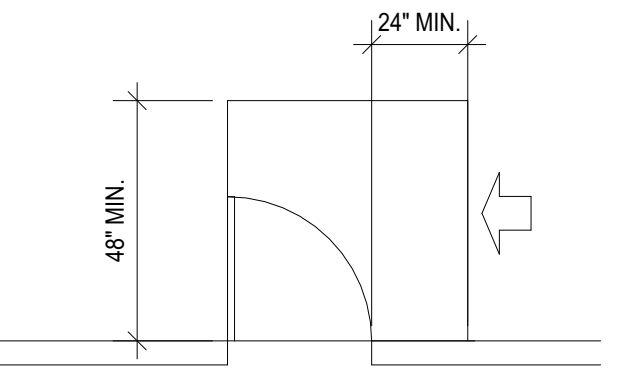
NOTE: Y=48" MIN. IF DOOR HAS BOTH A CLOSER AND A LATCH.



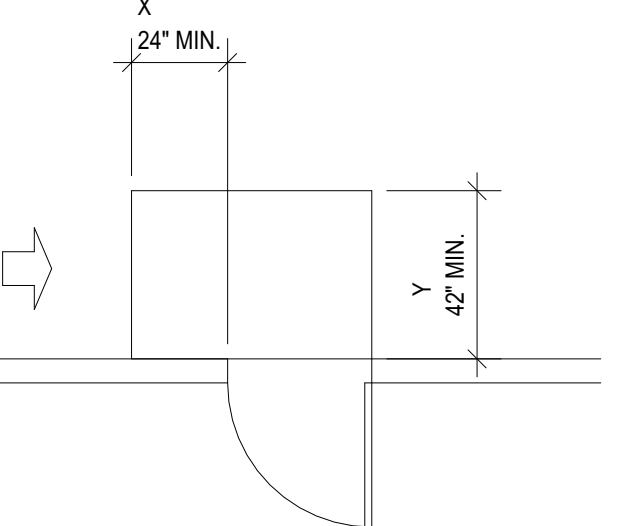
WATER CLOSET - CLEARANCES



URINAL - CLEARANCES

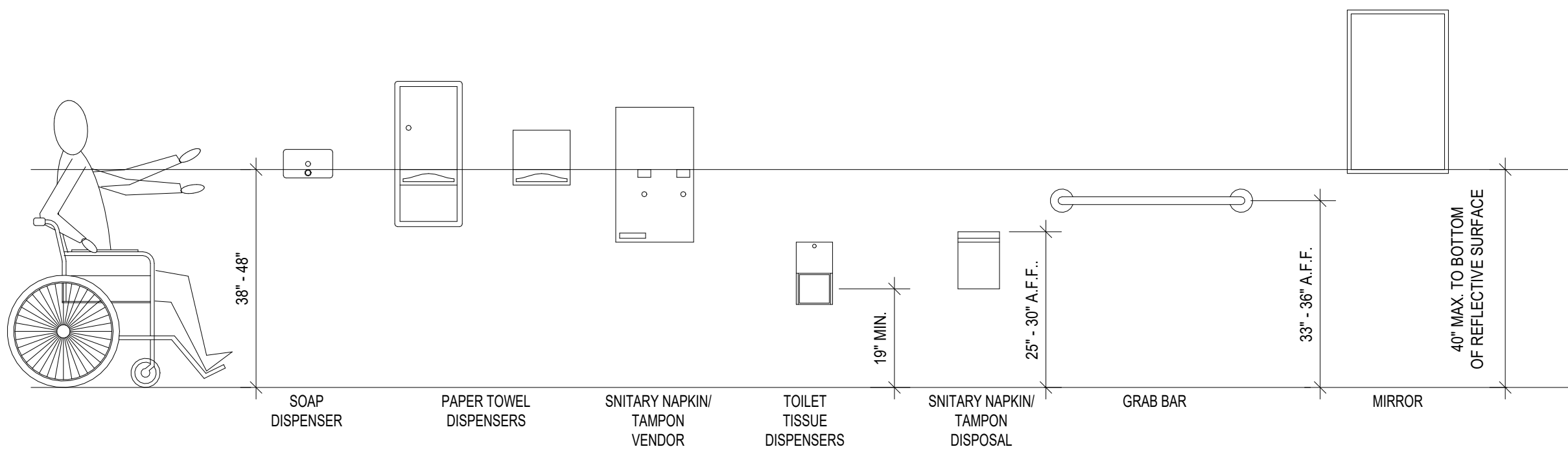


NOTE: Y=54" MIN. IF DOOR HAS A CLOSER

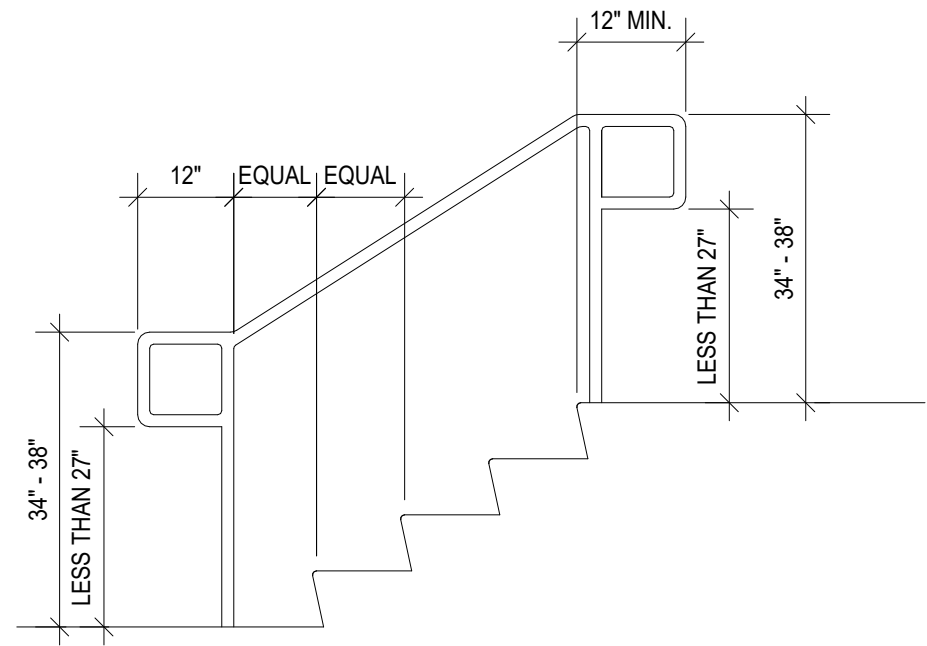


NOTE: Y=48" MIN. IF DOOR HAS A CLOSER.

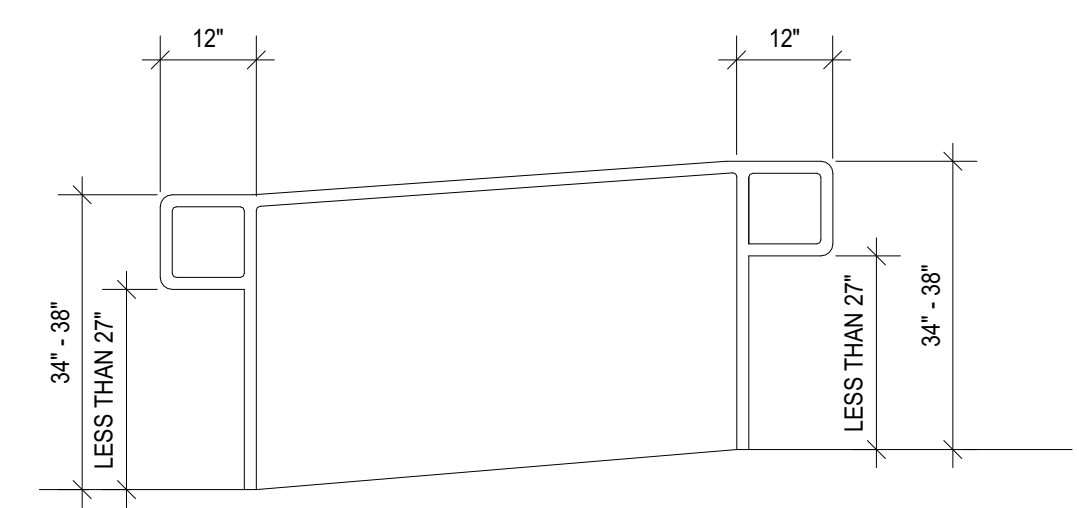
MANEUVERING CLEARANCES AT DOORS



WASHROOM ACCESSORIES - MOUNTING HEIGHTS



STAIR HANDRAIL - TYPICAL DIMENSIONS



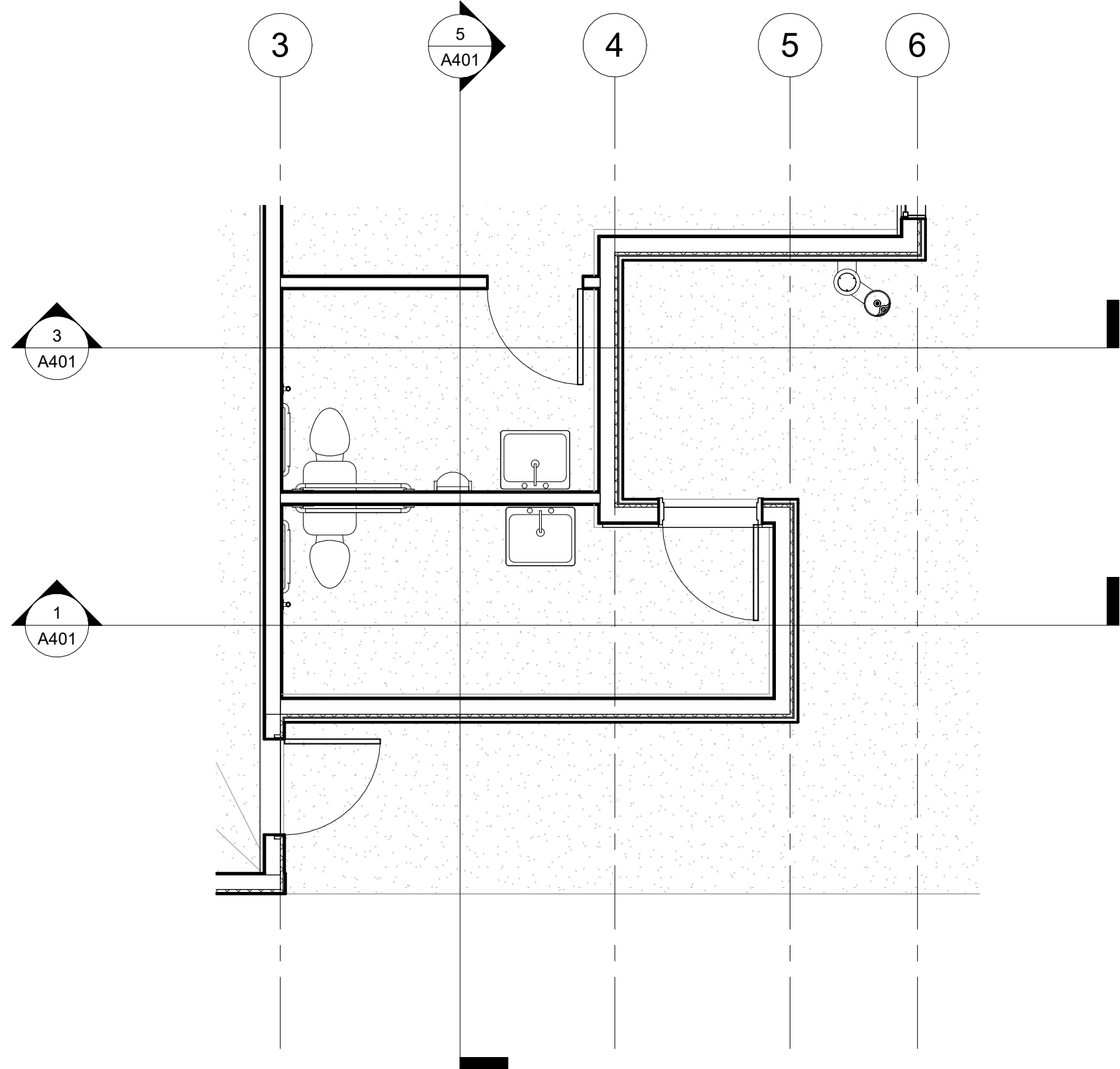
RAMP HANDRAIL - TYPICAL DIMENSIONS

1 ACCESSIBILITY
1/4" = 1'-0"

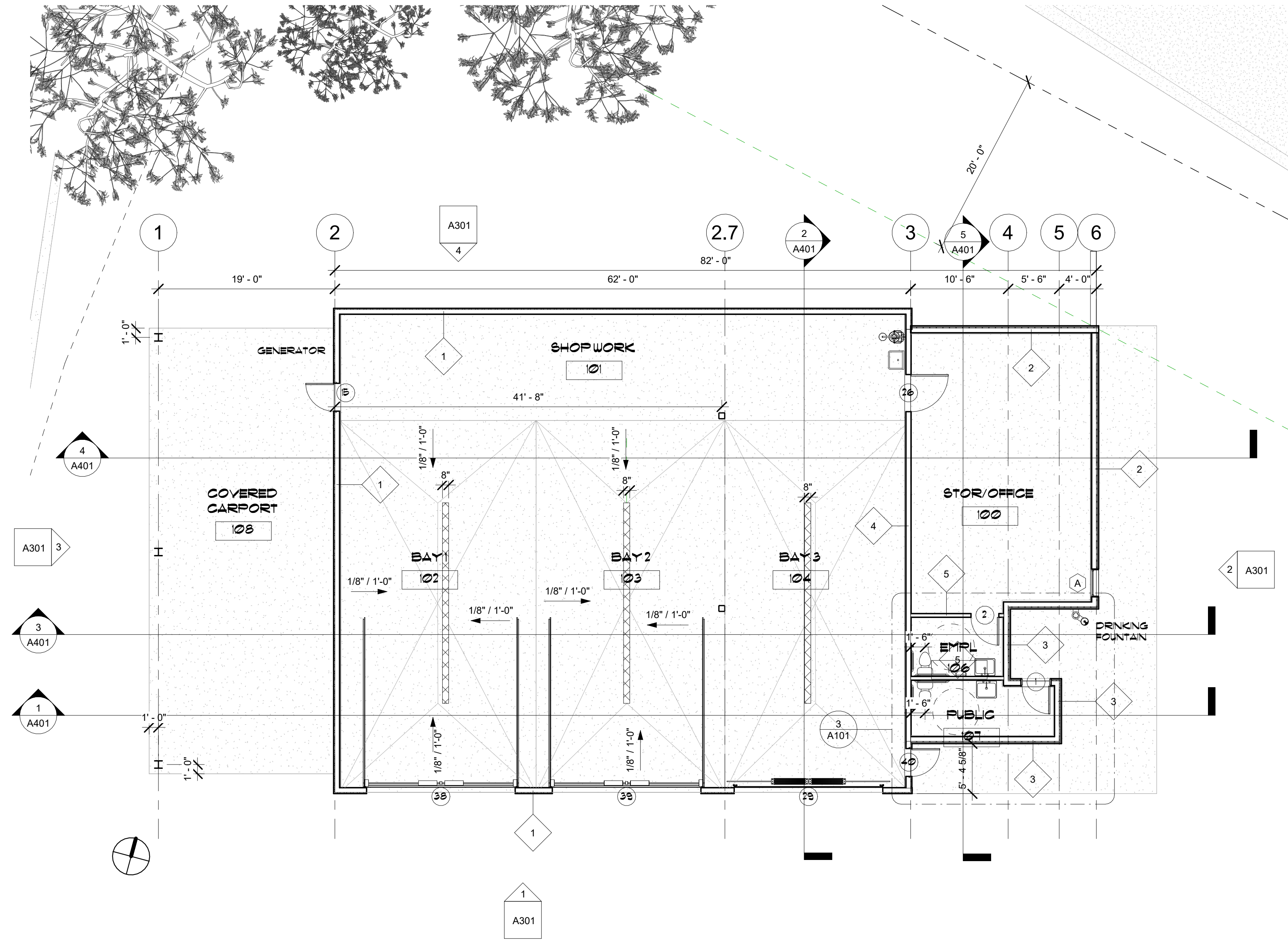
GENERAL PLAN NOTES

- A. FOLLOWING ARE MINIMUM INSULATION REQUIREMENTS:
 - ROOF/CEILING: 8" 1/4" EPS PANEL WITH R35
 - FRAMED EXTERIOR WALLS: 2" RIGID CAVITY INSULATION PLUS R-6 & CONTINUOUS INSULATION USING AN INTEGRAL CONTINUOUS INSULATION SHEATHING VAIR BARRIER SYSTEM, ZIP SYSTEM OR EQUAL. PROVIDE VAPOR BARRIER AT THE WARM SIDE AT ALL FIBERGLASS BATT INSULATION.
 - SLAB ON GRADE SCARFED EARTH, GEOTECH FABRIC, AIR PERMEABLE GRAVEL, 6 ML VAPOR BARRIER, RIGID INSULATION UNDER HEATED SLAB WITH R6 FOR 36" NOCHES PERPENDICULAR TO SLAB AT PERIMETER
- C. ALL WALL ASSEMBLIES IN THE BUILDING THERMAL ENVELOPE SHALL HAVE A CLASS I OR I VAPOR RETARDER ON THE INTERIOR SIDE OF THE FRAMED WALL.
- E. ALL WINDOWS SHALL BE FLASHED PER THE MANUFACTURER'S INSTALLATION INSTRUCTIONS. PENETRATION U-FACTORS ARE REQUIRED TO BE 30 ECOTABLE N102.12 (R402.12)
- K. ROOF TOP MOUNTED SOLAR PV SYSTEMS ARE REQUIRED TO BE DESIGNED TO STRUCTURALLY SUPPORT THE SYSTEM, HAVE PROPER ROOF ACCESS AND PATHWAYS PER CODE
- O. ALL RUSTED SIDING TO BE 'PRE-RUSTED' PRIOR TO INSTALLATION.

BATHROOM ACCESSORY SCHEDULE



FLOOR PLAN - ENLARGED BATHROOM
PLAN
1/4" = 1'-0"



1 FLOOR PLAN
1/8" = 1'-0"

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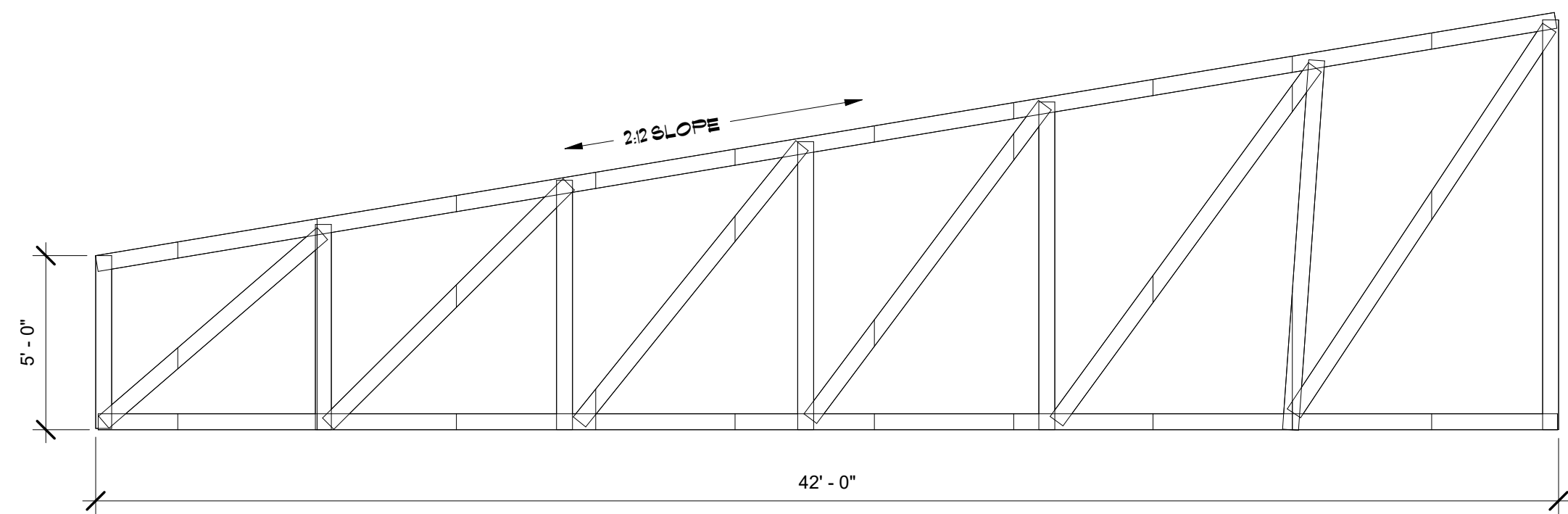
22-108
 JW
 JWA
 50% CD
 2/10/2023

Project number
 Drawn By
 Checked By
 Issue
 Date

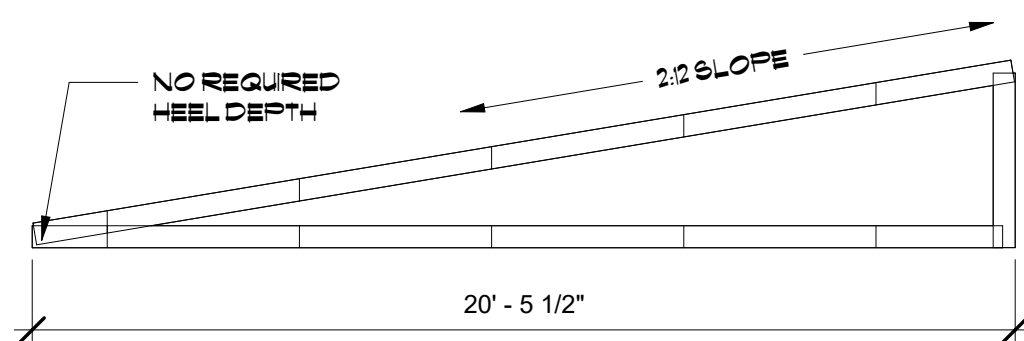
A101
 FLOOR PLAN

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T7-1



T7-2

PREFABRICATED ROOF TRUSSES:
THE CONTRACTOR IS RESPONSIBLE FOR THE DESIGN OF PREFABRICATED ROOF TRUSSES. THESE MEMBERS SHALL BE DESIGNED BY THE MANUFACTURER IN ACCORDANCE WITH THE DESIGN SPECIFICATION FOR METAL PLATE CONNECTED WOOD TRUSSES, THIRD EDITION, BY THE TRUSS PLATE INSTITUTE FOR THE SPANS AND CONDITIONS SHOWN ON THE PLANS. REFER TO THE STRUCTURAL DRAWINGS FOR THE DESIGN LOADS REQUIRED.

TRUSS ELEVATIONS
1/4" = 1'-0"

GENERAL ROOFING NOTES

A. ALL ROOF AREAS TO BE COVERED WITH ICE AND WATER SHIELD AT EAVES & VALLEYS, SYNTHETIC UNDERLAYMENT AT ALL OTHER AREAS. LAP PER MANUFACTURER'S REQUIREMENTS.

B. ROOFING TO BE PRE-FINISHED STANDING SEAM METAL ROOFING, 40-YEAR MINIMUM WARRANTY. INSTALL PER MANUFACTURER'S SPECIFICATIONS. ORDER ROOFING OVERLAP FOR DAMAGE. FIELD CUTS TO BE CLEAN WITHOUT ROUGH OR RAGGED EDGES, & INSTALL IN PLACE WHERE NOT SEEN. INSTALL ALL ROOFING WITHOUT MARRING, SCRATCHING, BENDING, RIPPLES.

C. PROVIDE ALL GALVANIZED NAILS OR SCREWS, SEALANTS & FASTENERS TO MEET MANUFACTURER'S REQUIREMENTS FOR WIND & CAPILLARY ACTION CONTROL AND WARRANTY.

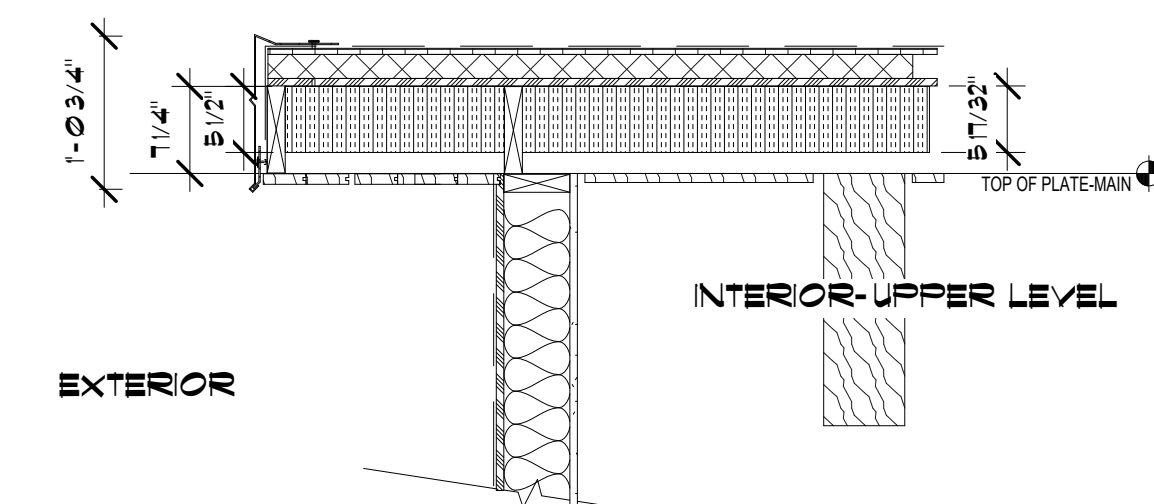
D. ALL 24 GA. PRE-FINISHED METAL FLASHING TO BE INSTALLED WITHOUT MARRING, SCRATCHING, BENDING OR RIPPLES. LEAVE NO ROUGH OR RAGGED EDGES SHOWING. COLOR TO BE SELECTED BY OWNER.

E. CONFIRM EXISTING CONDITIONS BEFORE ORDERING MATERIALS. PROVIDE CLEAN ROOF SURFACE FREE FROM DEBRIS, GREASE AND DUST BEFORE INSTALLING ROOFING.

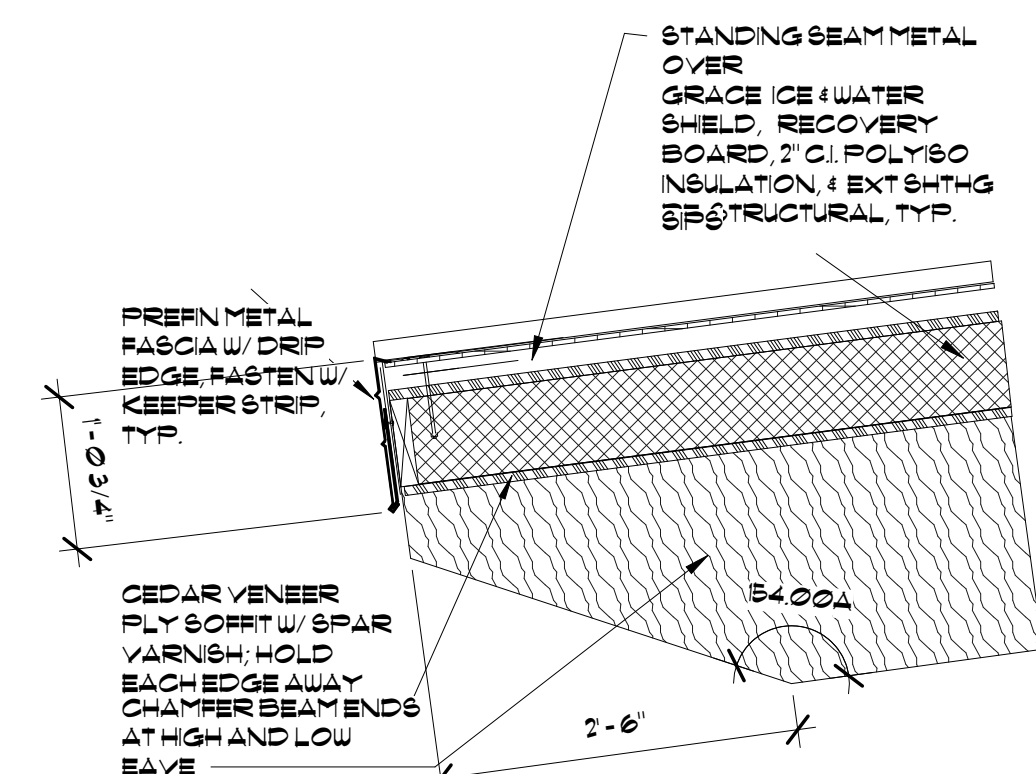
F. CRICKETS, CRICKETS TO BE 24 GA. PRE-FINISHED METAL, COLOR TO MATCH OTHER FLASHINGS. INSTALL OVER ICE AND WATER SHIELD.

G. ROOF JACKS: PROVIDE ROOF JACKS AT ALL ROOF PENETRATIONS, DEKITE OR EQUAL. NO MASTIC TO SHOW ON OUTSIDE.

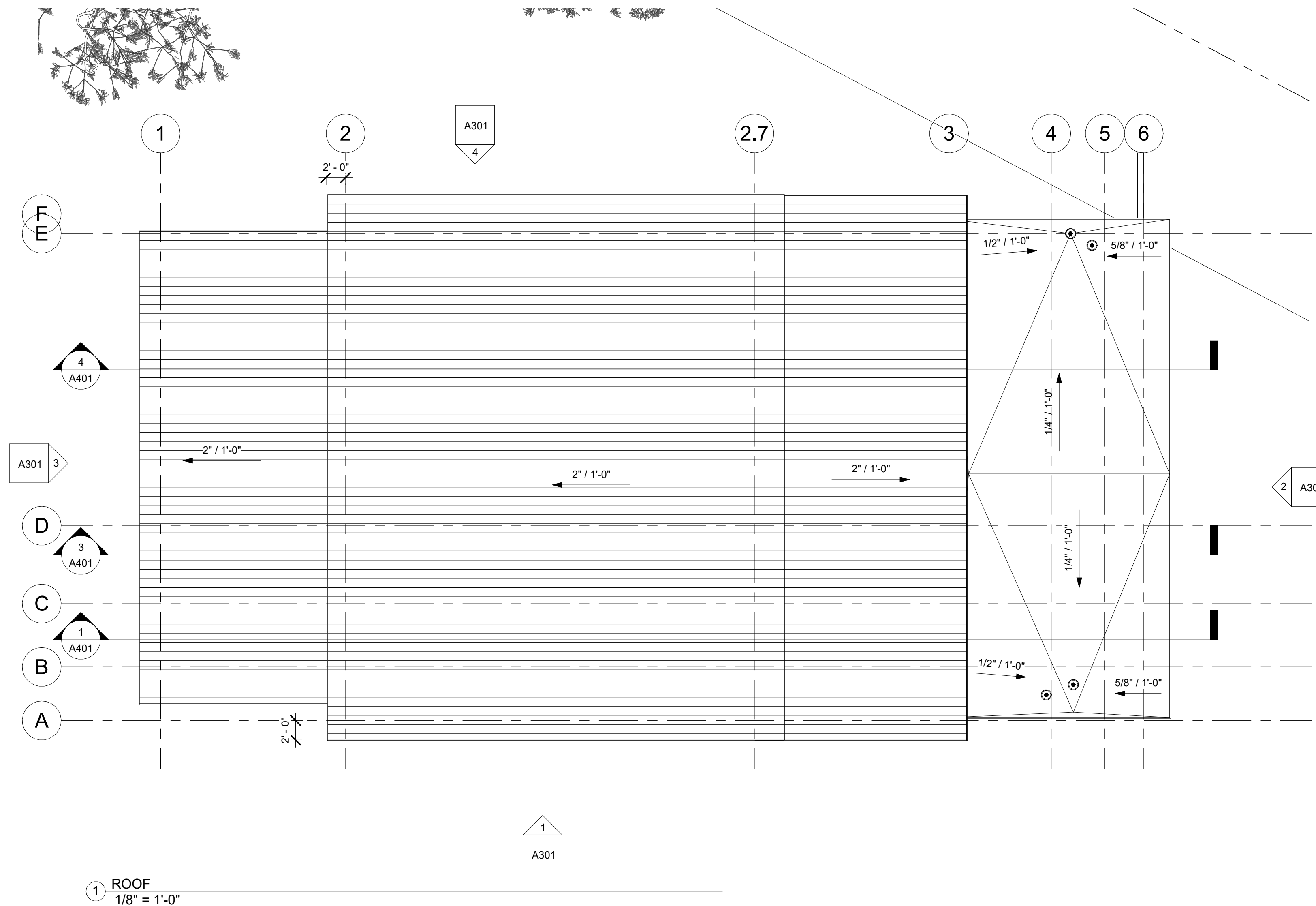
H. PROVIDE VENTED SOFFIT PANELS AT HIGH SIDE AND LOW SIDE OF OF ROOF AT EAVES.



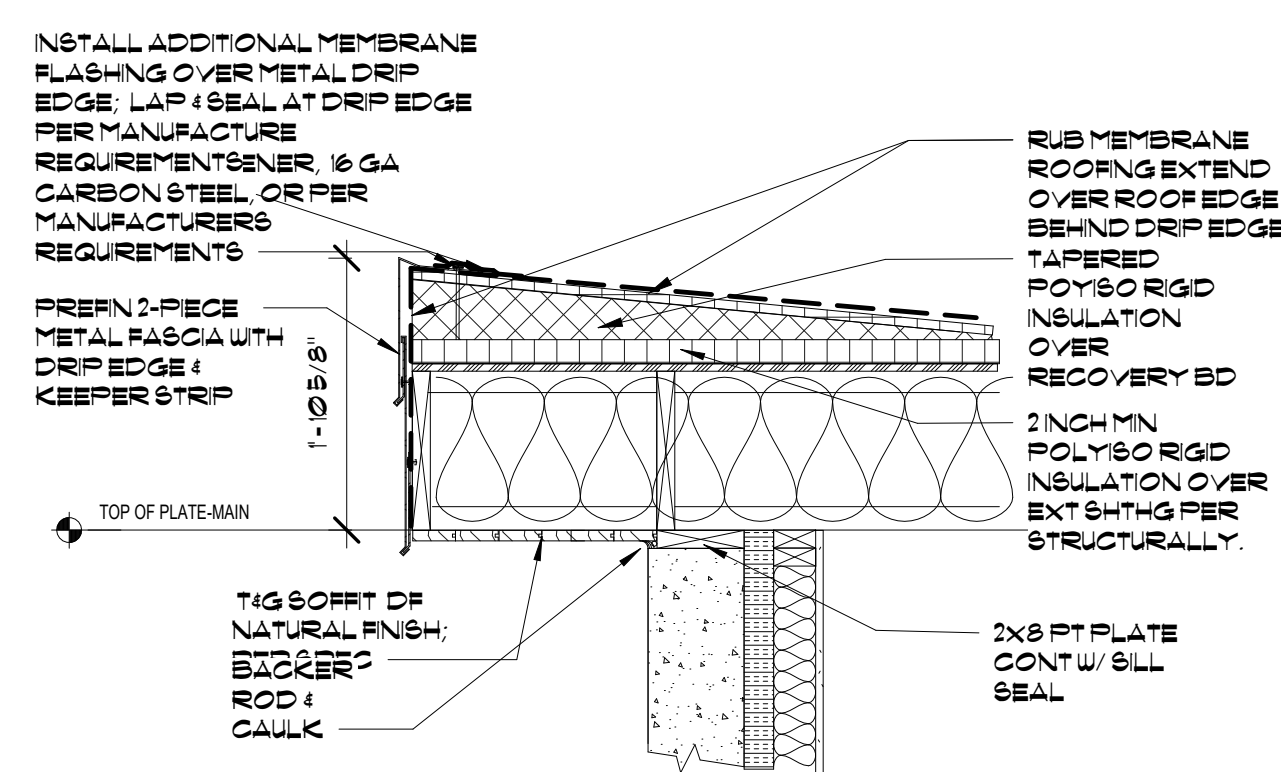
3 DETAIL - SIPS RAKE
3/4" = 1'-0"



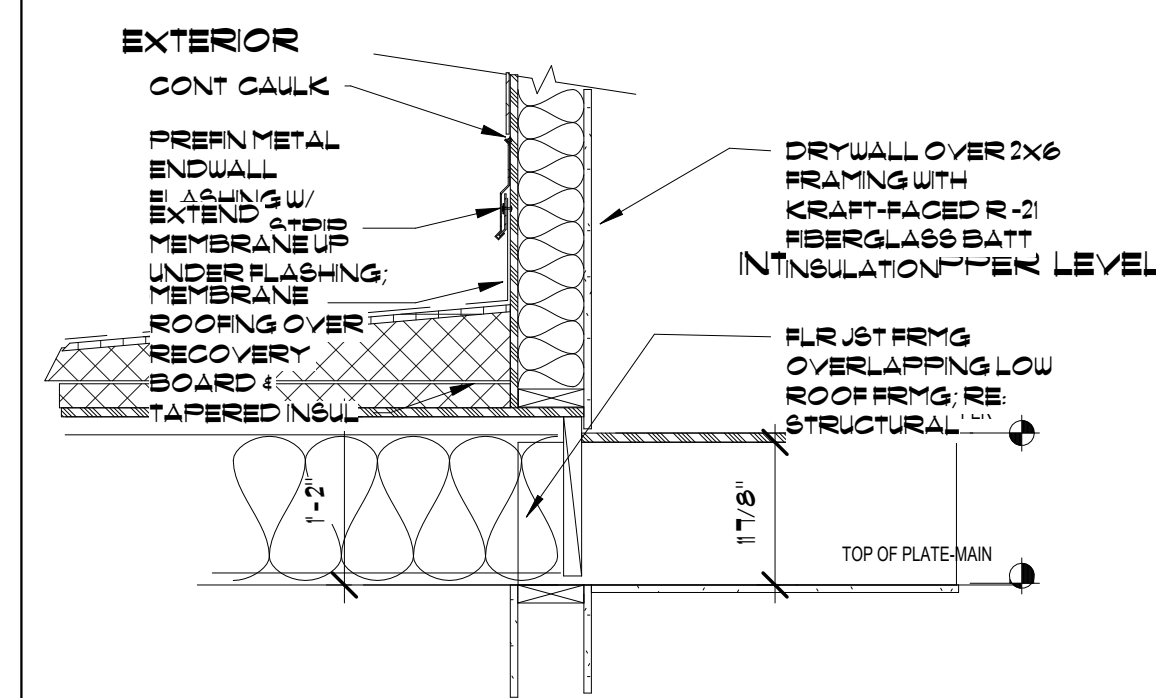
4 DETAIL - SIPS TAIL
3/4" = 1'-0"



1 ROOF
1/8" = 1'-0"



5 Drafting 1
3/4" = 1'-0"



6 Drafting 3
3/4" = 1'-0"

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22-108
Author
JVA

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Drawn By
Checked By

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Date

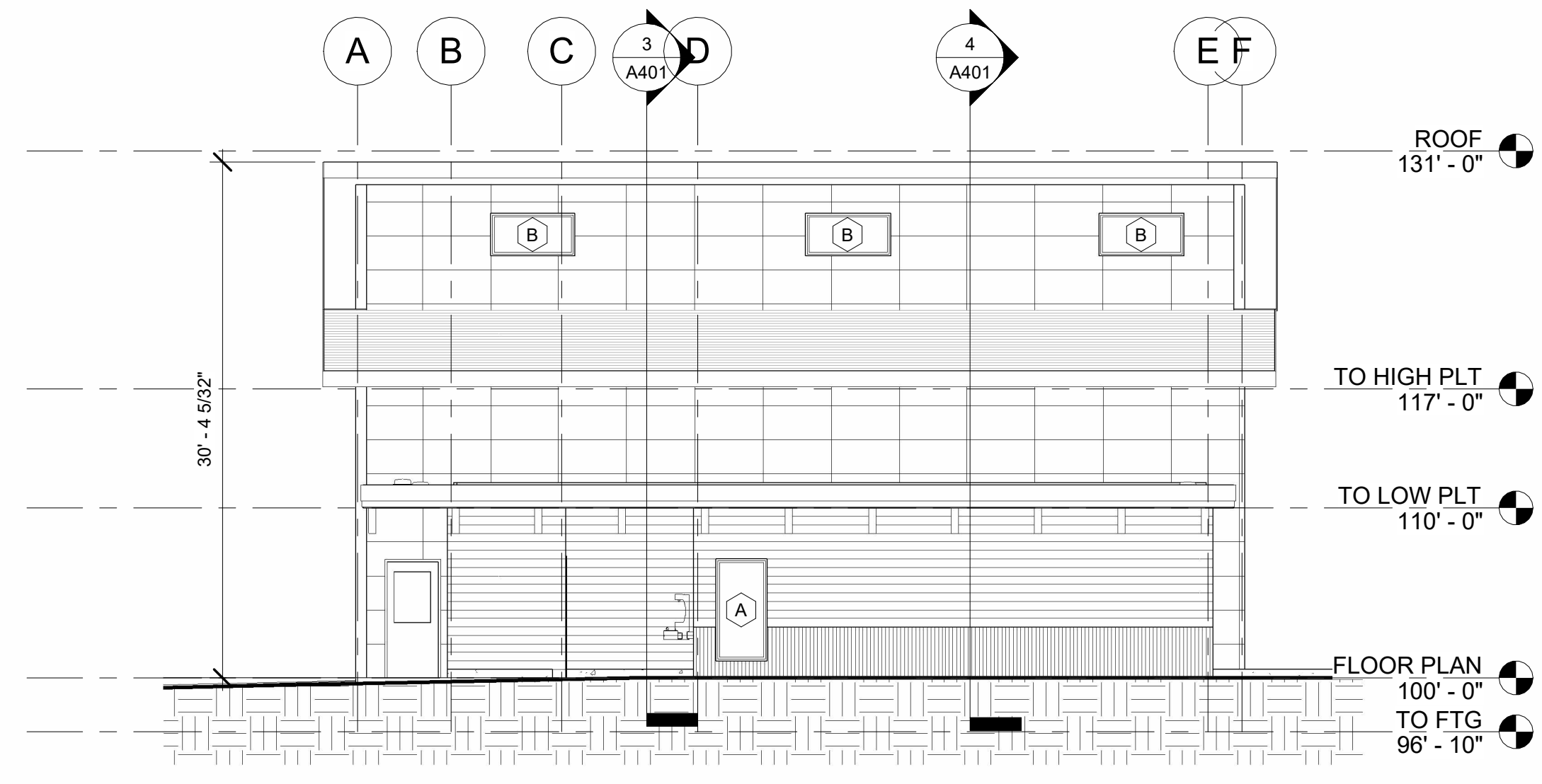
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A201
ROOF PLAN

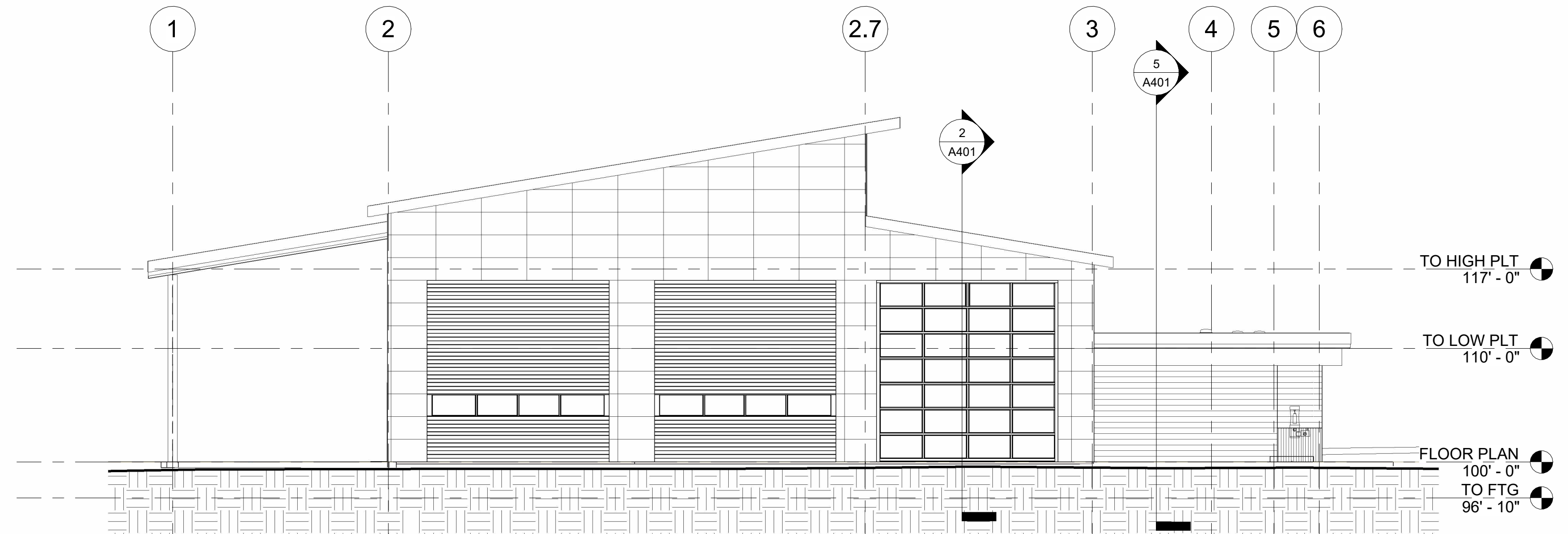
**RICO ROAD & BRIDGE
MAINTENANCE FACILITY
PICKER STREET**
RICO, COLORADO

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Janet Wiley - Architects P.C.
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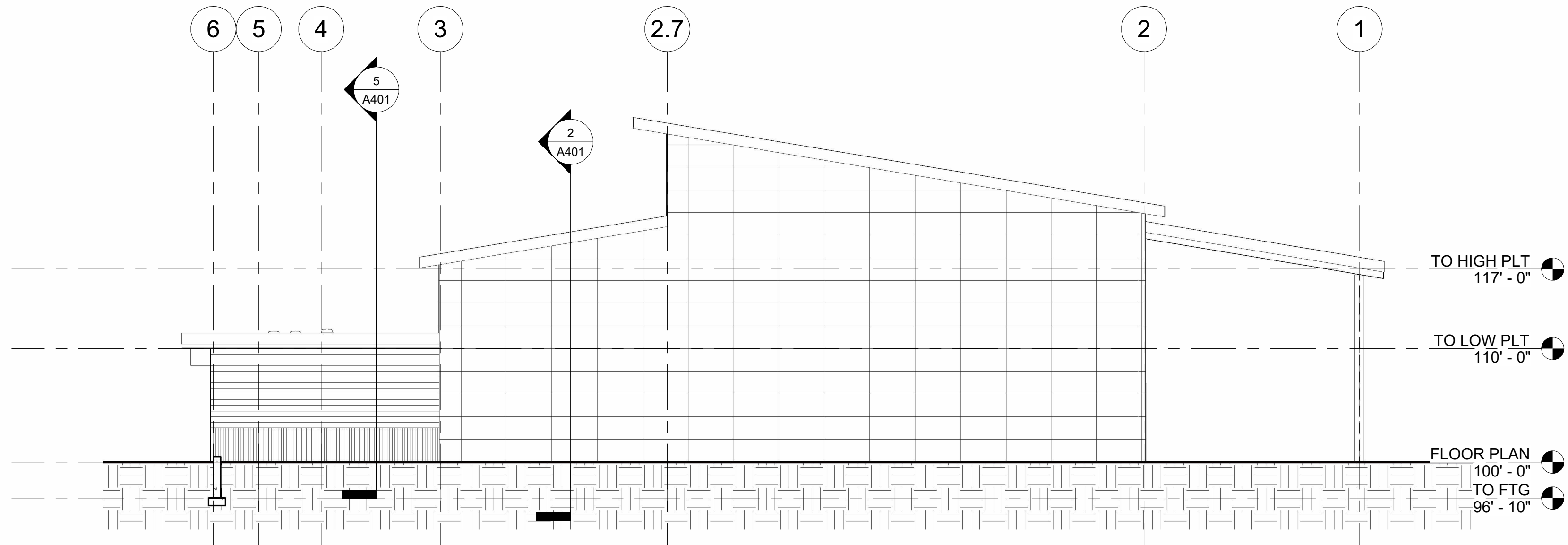
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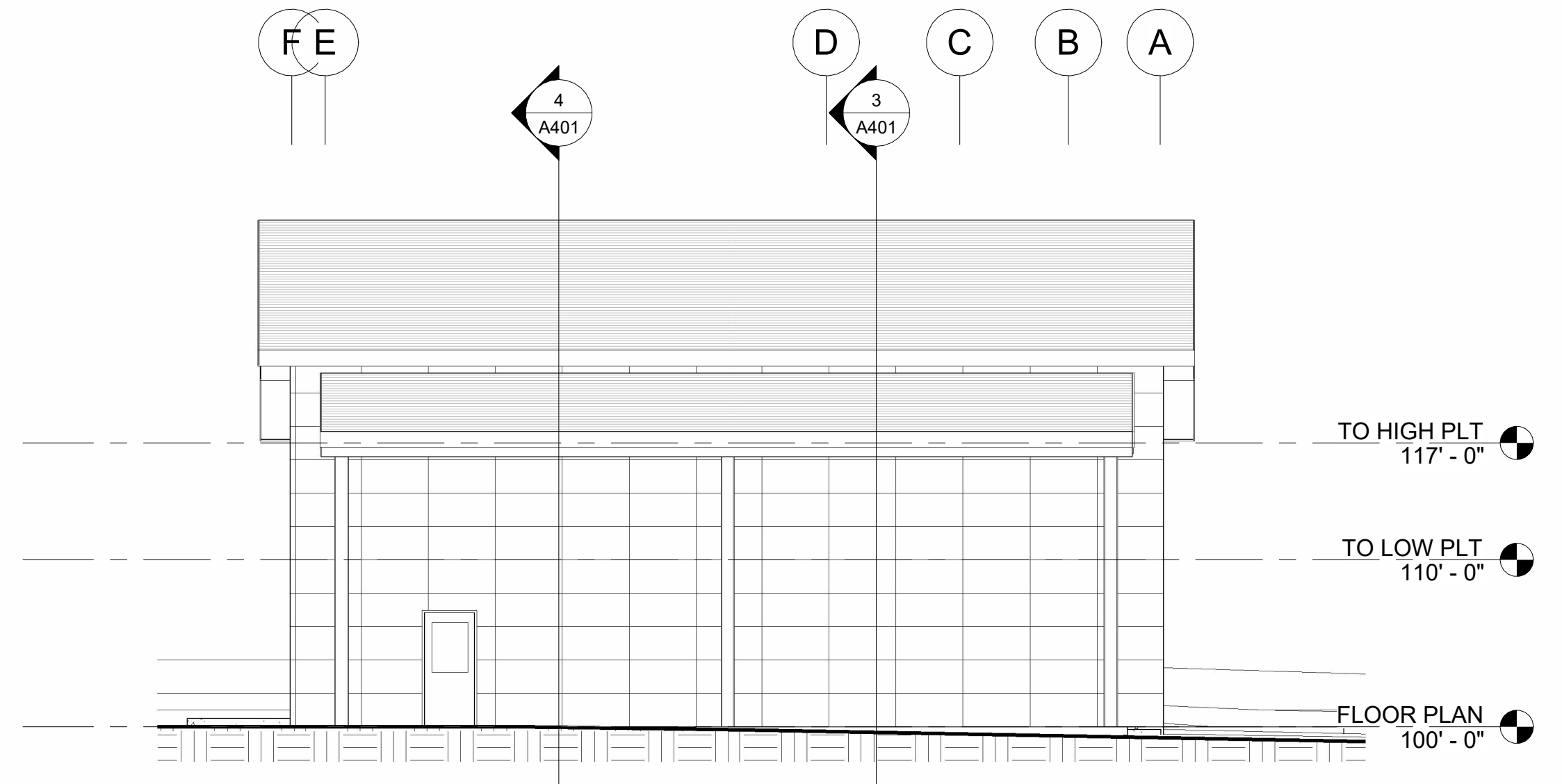
2 BUILDING ELEVATION EAST
1/8" = 1'-0"



1 BUILDING ELEVATION SOUTH
1/8" = 1'-0"



4 BUILDING ELEVATION NORTH
1/8" = 1'-0"



3 BUILDING ELEVATION WEST
1/8" = 1'-0"

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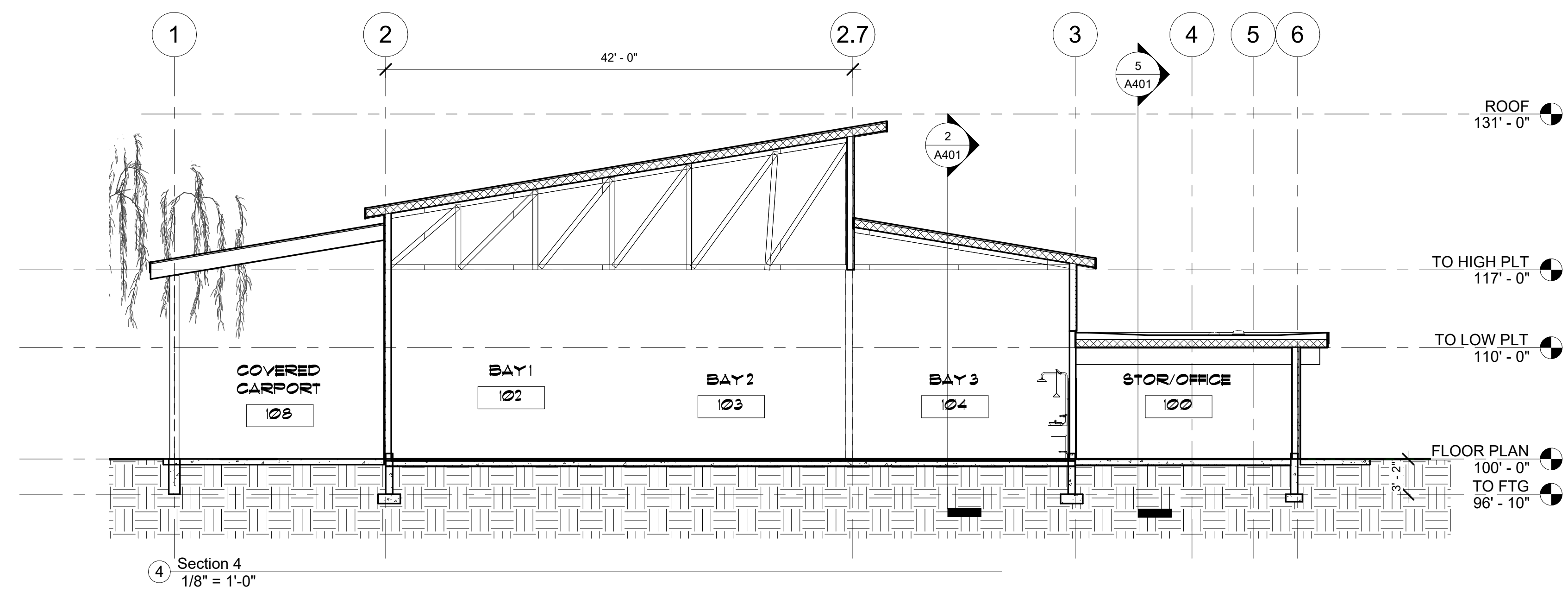
Project number
 Drawn By
 Checked By
 Issue
 Date

A301
 BUILDING
 ELEVATIONS

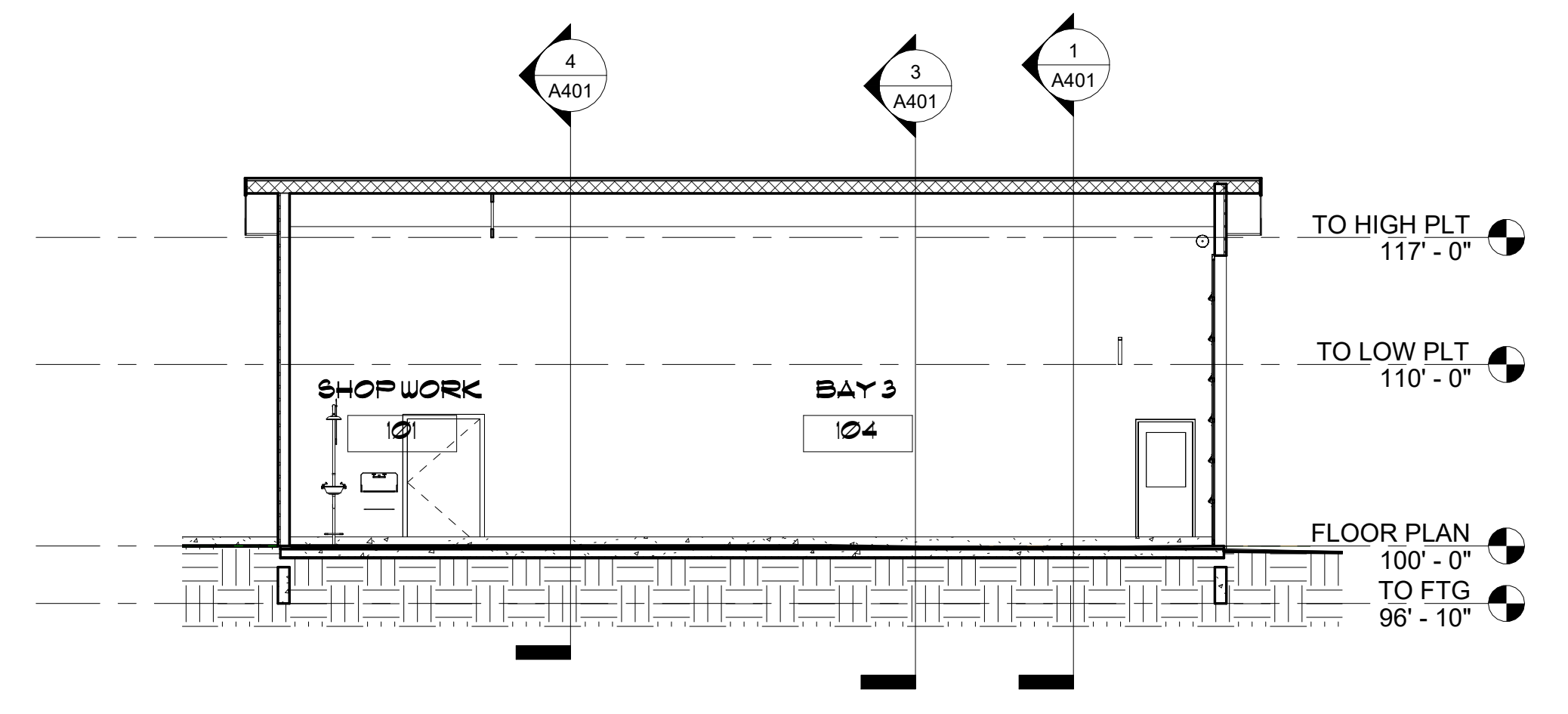
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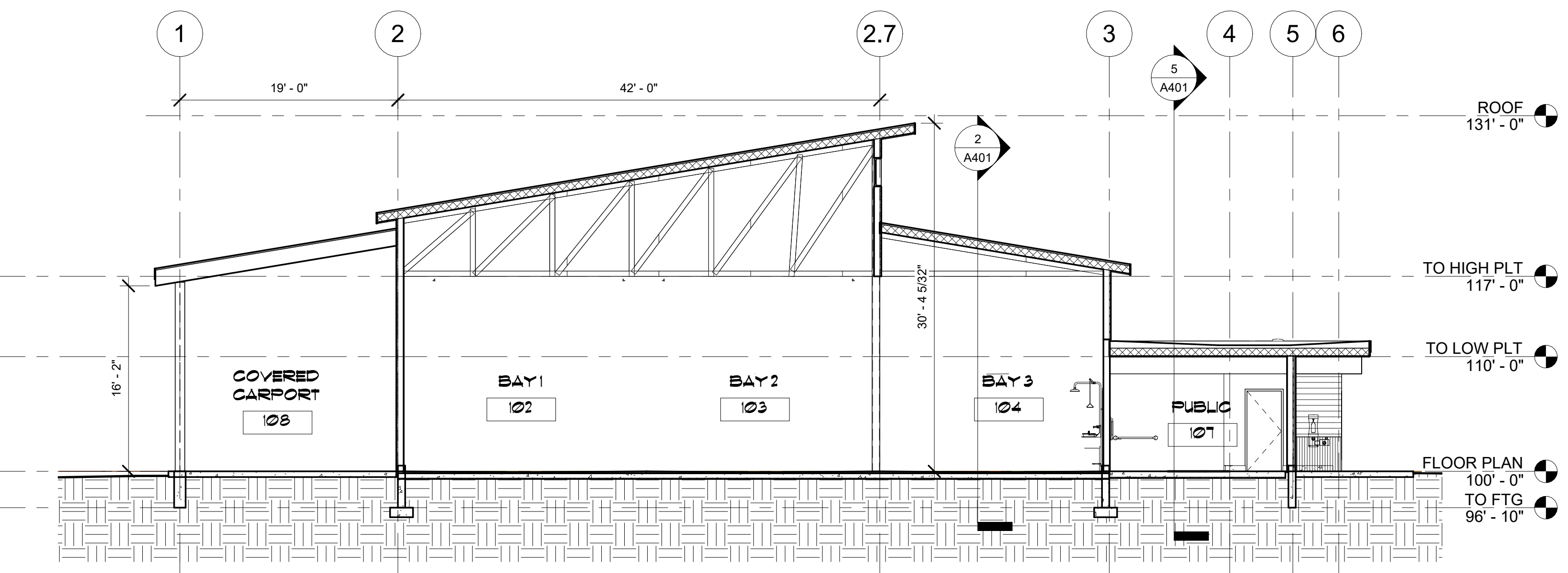
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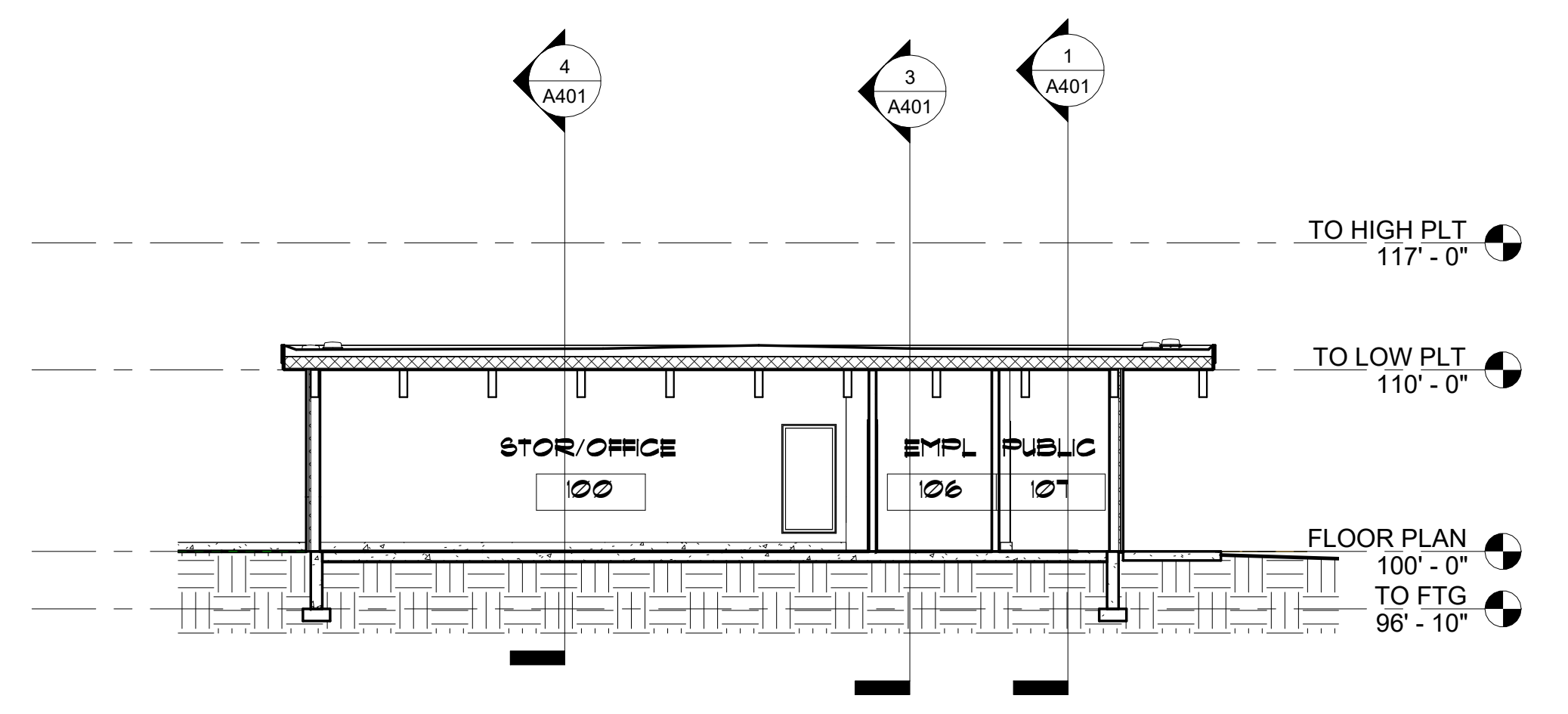
4 Section 4
1/8" = 1'-0"



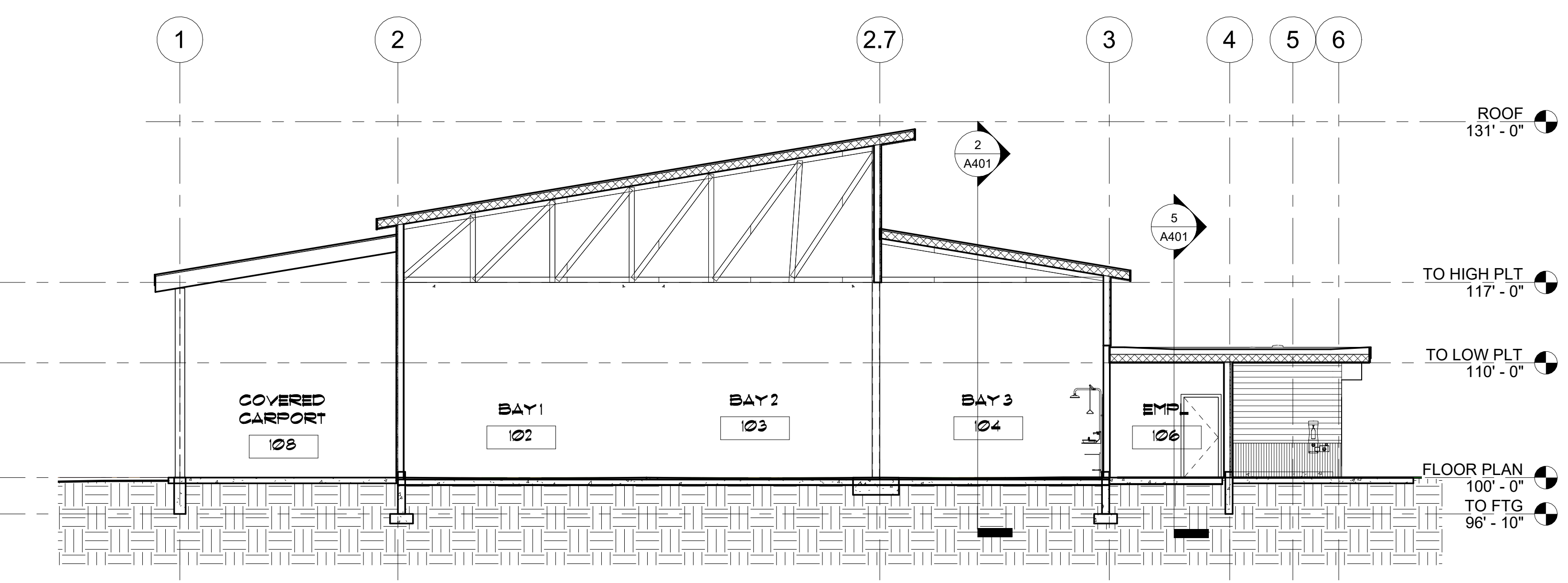
2 Section 2
1/8" = 1'-0"



1 Section 1
1/8" = 1'-0"



5 Section 5
1/8" = 1'-0"



3 Section 3
1/8" = 1'-0"

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22-108
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 JVA
 50% CD
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Project number
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 Checked By
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 Date

A401
 BUILDING
 SECTIONS