BUILDERS NOTICE

The Contractor or Owner warrants to the Architect that he possesses the particular competence and skill in construction necessary to build this project without full engineering and architectural services; and for whatever reason, that he wishes to rely upon his own competence, knowledge and skills, the Contractor or Owner has restricted the Architect's and Engineer's scope of professional services, In reliance on the Contractor's warranties, and at the express request of the Contractor or Owner, the Architect has undertaken a limited scope of professional services, The Construction Documents provided by the limited services shall be termed "Builder's Set" in recognition of the Contractor's or Owner's ability to execute the project, Construction will require that the Contractor or Owner adapt the "Builder's Set" to the field conditions encountered and make logical adjustments in fit, form, dimension and quantity that are treated only generally by the "Builder's Set". In the event additional details or guidance is needed by the Contractor or Owner for construction of any aspect of this project, they shall immediately notify the Architect. Failure to give a simple notice shall relieve the Architect of any responsibility for the consequences.

GENERAL NOTES

1. All work shall conform with all applicable state and local codes and ordinances and with accepted local standards of the trades. 2. The General Contractor shall inform the Architect of any costs of materials, labor, overhead, and profit which are caused by any changes or additions in the work intended by these plans prior to ordering materials and proceeding with the work. 3. All dimensions shall be verified at the site before commencing any work. In case of any discrepancies, errors or omissions to the drawings, the General Contractor shall notify the Architect in writing prior to commencing that portion of work. 4. All dimensions to take precedence over scale shown on plans. 5. It will be assumed that each trade has accepted the quality of the work of others upon which his work must be applied, unless the Architect and Owners informed the contrary at least 24 hours before commencing work.

6. The Contractor shall carefully study and compare the construction documents and shall report to the Architect anu error, inconsistencies or omissions that my be discovered, Further, the Contractor shall not proceed with any work which he believes to be contrary to his knowledge of good construction standards and practices and shall not use any substandard

7. The General Contractor shall be responsible to the Owner for the acts and omissions of all his employees and others involved in the completion of work contracted.

8. All Sub-contractors shall inform the General Contractor/Owner of his work schedule and any anticipated changes that may occur in that schedule.

9. All Sub-contractors shall be expected to inspect the site for conditions affecting work that they are bidding and shall be responsible for anticipating the effects of those conditions upon

10. Minor details not usually shown or specified but necessary for the proper installation or conformance with codes or standards listed or depicted herein shall be included in the work. 11. All work and material or equipment shall be guaranteed for a minimum of one year from date of substantial completion. 12. Dimensions shall take precedence over graphic representations, Scaling of the drawings for dimensions is not acceptable. Larger details and drawings take precedence over smaller scaled drawings. Notes and details on drawings shall take precedence over general notes and typical details. 13. Relative reference elevation of +100-0" shall be established at the site. Protect and maintain benchmarks for the duration of the

14. Protect all existing trees, vegetation and structures from damage or removal except those indicated in the drawings or approved by the Owner.

15. Take care, to provide continuous insulation, vapor barriers, ventilation and seals during each portion of the work to provide a protected, energy efficient structure.

16. Individual prints or partial sets of prints shall be considered a part of the whole set of these construction documents for this project. The recipient of individual prints or partial sets shall be held responsible for information and design intent not represented on the individual sheets or partial sets.

TOWN OF RICO ROAD & BRIDGE MAINTENANCE FACILITY



GRAPHIC SYMBOLS SHEETINDEX PROJECT DIRECTORY PROJECT DATA DRAWING INDEX TYPE: TOWN MAINTENANCE FACILITY ROOM NAME ROOM NAME SHEET NUMBER SHEET NAME LOCATION: TRACT 8, RICO, COLORADO PORTION SECTION 35 T4 ØN RIWNMPM 0:970-967-2863 RICO RIVER CORRIDOR townmanager@ricocolorado.gov LYING WITHIN THE TOWN OF RICO, COUNTY OF DOLORES, STATE OF COLORADO SDI SITE PLAN JANET WILEY - ARCHITECTS, P.C. PARCEL #X 1309 EAST 3RD AVENUE; ZONE: INDUSTRIAL CODE ANALYSIS DURANGO, CO 813/01 ACCESSIBILITY REQUIREMENTS PH: 970.946.7633 FLOOR PLAN LOTSIZE: 3.99 ACRES janet@jwadurango.com A2Ø1 ROOFPLAN BUILDING ELEVATIONS PROPOSED FACILITY: BUILDING SECTIONS -VEHICLE BAYS - 3224 SF STRUCTURAL BILL HICKAM, PE, SE -DRAWING NUMBER ON SHEET SCHEDULES -OFFICE/STORAGE - 727 SF EXTERIOR GOFF ENGINEERING & SURVEYING, INC -CARPORT-953 SF GENERAL NOTES ELEVATION 126 ROCK POINT DRIVE, SUITE A FOUNDATION PLAN CALLOUT DURANGO, CO 81301 LOWER ROOF PLAN TOTAL INTERIOR: 3951 SF (970) 247-1705 x03 MAIN ROOF LEVEL PLAN - DRAWING NUMBER ON SHEET FOUNDATION DETAILS bhickamagoffengineering.com FOUNDATION DETAILS INTERIOR SECTIONS & DETAILS ELEVATION APPLICABLE CODES: SECTIONS & DETAILS CALLOUT 2006 IBC INTERNATIONAL BUILDING CODE SECTIONS & DETAILS 2006 IMC INTERNATIONAL MECHANICAL CODE MECHANICAL MECHANICAL COVER SHEET 2006 IPCINTERNATIONAL PLUMBING CODE PLUMBING & DRAWING NUMBER ON SHEET MECHANICAL PLANS 2006 IFC INTERNATIONAL FIRE CODE ELECTRICAL RADIANT PLANS 2020 NEC Electrical Code ENGINEER MARK HARRINGTON, PE MECHANICAL - SCHEDULES MECHANICAL DETAILS BIG HORN CONSULTING ENGINEERS MECHANICAL DETAILS 386 INDIAN ROAD GRAND JUNCTION, CO 81501 OCCUPANCY: SI-MOTOR VEHICLE REPAIR PLUMBING COVER SHEET DRAWING NUMBER ON SHEET (970) 241-8709 PLUMBING PLANS ARROW mark@bighorneng.com CONSTRUCTION TYPE: Y-N PLUMBING SCHEDULES ELECTRICAL COVER SHEET LIGHTING PLANS LIGHTING DETAILS BUILDER LIGHTING NOTES & SCHEDULES

POWERPLANS

≡3-2

ELECTRICAL SCHEDULES

ELECTRICAL DETAILS

LIGHTING SITE PLAN



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Janet Wiley Architects, PC 1309 East Third Avenue Durango, CO 81301 970.946.7633 Project Description: 22-108 Town of Rico Road & Bridge Mainenance Facility Date: Tuesday, 7 Feb 2023 Project Location: Picker Street on the west side of US 145 in Rico, Colorado Construction by: TBD Architect: Janet Wiley Architects, PC Engineer: Goff Engineering & Surveying Code Study by: Janet Wiley Architects, PC

This code study is based on the 2015 International Building Code by ICC using Plan Analyst. www.plananalyst.com

BASIC BUILDING DESCRIPTION:

Type of Construction = VA Building does not have an automatic sprinkler system Allowable area and height based on different uses not being separated by fire barriers. Most restrictive height and area used. (508.3.2)

ADDRESS IDENTIFICATION:

Buildings shall be provided with approved address identification. The address identification shall be legible and placed in a position that is visible from the street or road fronting the property. Characters shall be Arabic numbers or alphabetical letters. Numbers shall not be spelled out. Each character shall be not less than 4 inches high and not less than Ø.5 inch wide. They shall be installed on a contrasting background. When required by the fire official, address numbers shall be provided in additional approved locations. When access is by a private road and the building address cannot be view from the public way, a monument, pole or other approved sign shall be used to identify the structure. (501.2)

SITE DESCRIPTION: (506.3.2 and 202 FIRE SEPARATION DISTANCE) The north side has a lot line. Distance to lot line = 20.0 Length of perimeter facing lot line = 82.0 This side can be accessed from a street or approved fire lane. The east side has a lot line. Distance to lot line = 254.0

Length of perimeter facing lot line = 52.0 This side can be accessed from a street or approved fire lane. The south side has a lot line. Distance to lot line = 206.0

Length of perimeter facing lot line = 82.0 This side can be accessed from a street or approved fire lane. The west side has a lot line. Distance to lot line = 23.0

Length of perimeter facing lot line = 52.0 This side can be accessed from a street or approved fire lane. Perimeter of the entire building = 268.0 feet.

Perimeter which fronts a public way or accessible open space = 268.0 feet. Weighted average of the width of public way or accessible open space = 19.5 Allowable area increased 48.66% due to frontage. (506.3)

Building height not entered. Building height not checked. (504.1)

BUILDING INTERIOR: ALLOWABLE AREA AND HEIGHT:

FL NAME OCC MAX FLR AREA ALLOWED RATIO STATUS

FI Bay#I SI 3 807 20811.94 0.04 OK SI 3 801 20811.94 0.04 OK FI Bay #3 SI 3 646 20811.94 0.03 OK FI Shop/Work Area SI 3 646 20811.94 0.03 OK FI Storage/Office SI 3 564 20811.94 0.03 OK FI Staff Bathroom SI 3 62 20811.94 0.00 OK TOTALFORFLOOR 3526 20811.94 0.17 OK BUILDING TOTAL 3526 20811.94 0.17 OK

Allowable area is based on Table 506.2 and Section 506. Allowable number of stories is based on Table 504.4 and Section 504 Allowed area increased 48.7% for frontage increase. (506.3)

EXIT REQUIREMENTS:

NAME NUMB MIN MIN CORRIDOR MAX OF OF NUMBEXITPANIC DOOR FIRE TRYL FL AREA OCC EXIT WDTH HDWR SWNG RATING DIST NOTES

FI Bay #1 5 1 1.1 no any N/A 200 FI Bay #2 5 1 1.1 no any N/A 200 FI Bay #3 4 1.9 no any N/A 200 FI Shop/Work Area 4 1.9 no any N/A 200 FI Storage/Office 4 1 8 no any N/A 200 FI (A)Staff Bathroom Ø 1 .1 no any N/A 200 TOTAL 1st FLOOR 23 2 4.6 no any N/A 200 5

NOTE: Areas with (A) before the number of occupants is being treated an accessory use area. This area is only used persons who occupy the main areas of the building. The occupant load of this area is not included in the total occupant load for suites, floors, or the building. FOOTNOTES:

5. Number of exits from this floor is based on Section 1006.3.2

NOTES FOR EXIT TABLE:

Door swing is based on Section 1010.1.2 Occupant load is based on Section 1004 and Table 1004.1.2 Exit width is in inches and based on Sections 1005.3.1 and 1005.3.2 For the minimum width of stairways, see Section 1011.2. Exits shall be continuous from the point of entry into the exit to the exit discharge. (1003.6)

DOOR SWING EXCECPTIONS:

Exception 5: Revolving doors complying with Section 1010.1.4.1 Exception 6: Horizontal sliding doors complying with Section 1010.1.4.3 Exception 7: Power-operated doors complying with Section 1010.1.4.2

EXIT WIDTH NOTES:

Exit width is in inches and based on Section 1005.2 Width shown for all areas is based on other egress components. (1005.3.2) Width shown for 1st floor is based on other egress components. (1005.3.2) Width shown for other floors & basements is based on stairways. (1005.3.1) For the minimum width of doors, see Section 1010.1.1.

EGRESS CONTINUITY:

The path of egress travel along a means of egress shall not be interrupted by any building element other than a means of egress component. (1003.6)

EXIT SEPARATION:

In areas where 2 exits are required, the minimum separation is 1/2 of the maximum diagonal of the area or floor measured in a straight line between exits or exit access doorways. (1007.1.1)

Exception 1: Where interior exit stairways are interconnected by a 1-hour corridor, the separation shall be measured along the shortest direct travel within the corridor.

Multiple means of egress shall be sized such that the loss of any one means of egress shall not reduce the available capacity by more than 50 percent.

MEANS OF EGRESS ILLUMINATION:

1. The means of egress, including the exit discharge, shall be illuminated at all times the building space served by the means of egress is occupied. (1006.1) 2. The means of egress illumination shall not be less than I foot-candle at the walking surface level. (1006.2) See section 1006.3 for emergency power requirements.

ADDITIONAL DOORS:

Where additional doors are provided for egress purposes, they shall conform to the requirements in Section 1010. (1010.1)

LANDINGS AT DOORS:

l. There shall be a floor or landing on each side of a door. (1010.1.5) 2. Such floor or landing shall be at the same elevation on each side of the door.

3. The floor or landing shall not be more than 1/2 inch lower than the threshold.

4. Landings shall have a width not less than the width of the stairway or width of the doorway, whichever is the greater. Where a landing serves an occupant load of 50 or more, doors in any position

shall not reduce the landing dimension to less than one half of the required width. The minimum length in the direction of exit travel is 44 inches. (1010.1.6) 5. The space between two doors in series shall be 48 inches plus the width of door swinging into the space. (1010.1.8)

BOLTLOCKS:

Manually operated flush bolts and surface bolts are not permitted. (1010.1.9.4) Exception 3: Where a pair of doors serves an occupant load of less than 50, manually operated edge- or surface-mounted bolts are permitted on the inactive leaf. The inactive leaf shall contain no doorknobs, panic bars or similar operating hardware.

Exception 2: Where a pair of doors serves a storage or equipment room, manually operated edge- or surface-mounted bolts are permitted on the inactive leaf. The unlatching of any door or leaf shall not require more than one operation.

Exception 2: Where manually operated bolt locks are permitted. Exception 3: Doors with automatic flush bolts as permitted.

LOCKS AND LATCHES:

Egress doors shall be readily openable from the egress side without the use of a key or any special knowledge or effort. (1010.1.9) Locks and latches shall be permitted to prevent operation where any of the

following exists: (1010.1.9.3) 2. The main door or doors in Group B, F, M and S areas are permitted to be equipped with key operating locking devices from the egress side provided:

2.1 The locking device is readily distinguishable as locked. 2.2 A readily visible durable sign is posted on the egress side stating: THIS DOOR TO REMAIN UNLOCKED WHEN BUILDING IS OCCUPIED

3. Where egress doors are used in pairs, automatic flush bolts shall be permitted to be used, provided the door leaf having the automatic flush bolts has no doorknob or surface-mounted hardware.

5. Fire doors after the minimum elevated temperature has disabled the unlatching mechanism.

BUILDING ACCESSIBILITY:

Accessible entrances and accessiblity within the building shall comply with Sections 1104 and 1105. On floors where drinking fountains are provided, accessible drinking fountains

shall be provided. No fewer than 2 drinking fountains shall be provided. One shall comply with the requirements for people in a wheelchair and one for standing persons. (1109.5.1)

MINIMUM NUMBER OF PLUMBING FIXTURES: (2902.1)

NUMBER WATER CLOSETS LAYATORIES DRINKING FL NAME OF AREA OCC MALE FEMALE MALE FEMALE FOUNTAINS

FI Bay#1 5 0 0 0 0 FI Bau #2 5 0 0 0 0 FI Bay #3 4 0 0 0 0 FI Shop/Work Area 4 0 0 0 0 FI Storage/Office 4 Ø Ø Ø Ø FI (A)Staff Bathroom Ø Ø Ø Ø

TOTAL for 1st FLOOR 23 Water closets and lavatories are per unit. NOTES ON THE TOTAL NUMBER OF PLUMBING FIXTURES:

The number of fixtures for a floor may not match total number of fixtures per 1. Fixtures for accessory areas are not included in the floor total. 2. The number of fixtures for each area are rounded up to the next whole number. Floor totals are not rounded up until the floor total is obtained. If the fixtures only serve an area, use number shown for each area. If the fixtures serve an entire floor, use number shown for totals.

FIRE-RESISTANCE REQUIREMENTS:

FIRE-RESISTANCE RATING FOR EXTERIOR WALLS: North Side: Group SI - Bearing walls = 1-hr Nonbearing walls = 1-hr rating on the inside. (705.5)

Tables 601 \$ 602) Parapet or roof/ceiling protection required (705.11, Exception 4)

Maximum unprotected openings = 45% of wall area. There is no limit on protected openings. (Table 705.8)

East Side:

Group SI - Bearing walls = 1-hr Nonbearing walls = 0-hr rating on the inside. (705.5,

Parapet or roof/ceiling protection required (705.11, Exception 4)

No limit on unprotected openings. There is no limit on protected openings. (Table 705.8)

Group SI - Bearing walls = 1-hr Nonbearing walls = 0-hr rating on the inside. (705.5, Tables 601 \$ 602) Parapet or roof/ceiling protection required (705.11, Exception 4)

No limit on unprotected openings. There is no limit on protected openings. (Table 705.8)

Group SI - Bearing walls = 1-hr Nonbearing walls = 1-hr rating on the inside. (705.5, Parapet or roof/ceiling protection required (705.11, Exception 4)

Maximum unprotected openings = 45% of wall area. There is no limit on protected openings. (Table 705.8)

FIRE-RESISTANCE RATING REQUIREMENTS: (Table 60) except as noted) Exterior walls. Minimum fire resistance rating = FIRE-RESISTANCE RATING FOR EXTERIOR WALLS above Primary structural frame may be of any material. Minimum

fire resistance rating = 0 hr Interior bearing wall may be of any material. Minimum fire resistance rating = 0 hr Interior nonbearing wall may be of any material. Minimum fire resistance rating = 0 hr Floor/ceiling assembly may be of any material. Minimum fire resistance rating = 0 hr Roof/ceiling assembly may be of any material. Minimum fire resistance rating = 0 hr Heavy timber shall be permitted where a 1 hour or less fire rating is required. (Table 601, c)

MARKING AND IDENTIFICATION:

Firewalls, fire barriers, fire partitions, smoke barriers and smoke partitions or any other wall required to have protected openings or penetrations shall be effectively and permanently identified. (703.7)

Identification shall be located in accessible concealed floor, floor-ceiling or Be located within 15 feet of the end of each wall and at intervals not exceeding

30 feet; and Suggested wording: FIRE AND/OR SMOKE BARRIER - PROTECT ALL OPENINGS'

FIRE PARTITIONS:

The following wall assemblies shall comply. (708.1)

Fire partitions shall have a fire-resistance rating of not less than 1-hour. (708.3) See exceptions. Fire partitions shall extend from the top of the foundation or floor/ceiling

assembly below to the underside of the floor or roof sheathing, slab or deck above or to the fire-resistive-rated floor/ceiling or roof/ceiling assembly above.(708.4)

If wall stops at a fire-resistant-rated ceiling, see requirements for fire blocking/draftstop. The supporting construction shall be protected to afford the required fire-

resistance rating of the wall supported. See exceptions. \triangle 1-hour fire-resistive rating is required for smoke barriers. (709.3)

Smoke barriers shall form an effective membrane continuous from outside wall to outside wall and from the top of the foundation or floor/ceiling assembly below to the underside of the floor or roof sheathing, deck or slab above, including continuity through concealed spaces. (710.4) The supporting construction shall be protected to afford the required fire-

PENETRATIONS OF FIRE RESISTIVE ASSEMBLIES: WALLS ASSEMBLIES:

resistance rating of the wall or floor supported. See Section 710.5 for opening requirements.

Penetrations of walls shall comply Section 714.3.1.1 or 714.3.1.2. FLOOR/CEILING AND ROOF/CEILING ASSEMBLIES: Penetrations of floor/ceiling and roof/ceiling assemblies shall comply Section 714.4.1.1 or 714.4.1.2.

DUCTS AND AIR TRANSFER OPENINGS: Where required. (717.5.), Fire walls (717.5.1), Fire barriers (717.5.2), Shaft enclosures (717.5.3), Fire partitions (717.5.4) and Smoke barriers (717.5.5)

REQUIRED SEPARATION OF OCCUPANCIES: (508.4.4 & Table 508.4) Uses are not separated by fire barriers. The construction of the building is based on the most restrictive use. (508.3.3)

SEPARATION OF INCIDENTAL USE AREAS: (Table 509) Furnace rooms where any piece of equipment is over 400,000 BTU per hour

input=1hour Rooms with any boiler over 15 psi and 10 horsepower = 1 hour Refrigerant machinery rooms = 1 hour Hydrogen cut-off rooms not classified as Group H=1 hour Incinerator rooms = 2 hours and an automatic sprinkler system is required Stationary storage battery systems having a liquid capacity of more than 50 aallons of flooded lead-acid, nickel cadmium or VRLA or more than 1,000 pounds for lithium-ion and lithium medal polymer used for facility standby power,

SMOKE AND HEAT REMOVAL: Areas containing high piled combustible combustible storage require smoke and heat removal when required by Table 3206.2 of the IFC. Design to comply

emergency power or uninterrupted power supplies = 1 hour

with Section 910.3. ROOFING REQUIREMENTS:

1. The roofing on this building is required to be Class C or better. (Table 1505.1) ROOF DRAINAGE: Where the exterior wall construction extends above the roof in such a manner

that water will be entrapped if the primary drains allow build up for any reason, secondary (emergency overflow) roof drains or scuppers shall be provided. (1503.4.1)

1. Secondary drains or scuppers shall be located and sized to prevent the weight ponding water from exceeding the design load of the roof. 2. See section 1611.1 for design load requirements. 3. Scuppers shall not have an opening dimension of less than 4 inches. (1503.4.2

4. See sections 1106 and 1108 of the Plumbing code for design requirements.

DRAFTSTOPPING: If there is combustible construction in the roof/ceiling assembly, draftstopping shall be installed so that the area of concealed space does not exceed 3,000 square feet. (718.4.3)

Opening in the partitions shall be protected by self-closing doors with automatic latches constructed as required for the partitions. (718.4.1.1)

AUTOMATIC SPRINKLER SYSTEMS:

If openings are not provided in each 50 feet on at least one exterior wall or there is floor area more than 75 feet from an exterior opening, an automatic sprinkler system is required. Openings shall have a minimum dimension of 30 inches. There must be at least 20 sq.ft. of opening in every 50 lineal feet of wall or fraction thereof. The height of the bottom of the opening shall not exceed 44 inches measured from the floor. (903.2.11.1)

PORTABLE FIRE EXTINGUISHERS:

Portable fire extinguishers are required. (906.1) See Section 306.1 and Table 306.1 for location requirements. See Section 906.3 for size and distribution requirements.

STANDPIPE AND HOSE SYSTEMS:

 \triangle standpipe system is not required. (905)

SMOKE AND HEAT REMOVAL:

Areas containing high piled combustible combustible storage require smoke and heat removal when required by Table 3206.2 of the IFC. Design to comply with Section 910.3.

ACCESSIBLE FACILITIES:

Accessible water fountains shall comply with ICC/ANSI A117.1, see Section 602. Toilet facilities shall comply with ICC/ANSI A117.1, see Sections 603 through 603.

ADDITIONAL TOILET REQUIREMENTS:

Customers, patrons and visitors shall be provided with public toilet facilities in spaces intended for public utilization. (2902.3) The route to the public facilities shall not pass through kitchens, storage

rooms or closets. (2902.3.1) The path of travel to facilities shall not exceed a distance of 500 feet.

Directional signage indicating route to public facilities shall be posted. Such signage shall be located in a corridor or aisle at the entrance to the facilities.

Where a toilet is provided for use of multiple occupants, the egress door for the room shall not be lockable from the inside. (29/02.3.5)

Where a building or tenant space requires a separate toilet facility for each sex and each toilet facility is required to have only one water closet, two family/assisted-use toilet facilities shall be permitted to serve as required separate facilities. Toilet facilities shall not be required to be identified for exclusive use by either sex. (2902.2.1)

LIGHT AND VENTILATION:

1. Every space intended for human occupancy shall be provided with natural light by means of exterior glazed openings or shall be provided with artificial

2. Buildings shall be provided with natural ventilation or mechanical ventilation per the International Mechanical Code. (1203.1) 3. Rooms containing bathtubs, showers, spas and similar bathing fixtures shall be mechanically ventilated. (1203.5.2.1)

GLAZING REQUIREMENTS:

All glazing in hazardous locations is required to be of safety glazing material.

See Section 2406.4 for locations. WALL AND CEILING FINISHES:

1. Wall and ceiling finish materials are required to comply with Sec. 803.11 and Table 2. Textile wall and ceiling coverings shall have Class \triangle flame spread index and

shall be protected by automatic sprinklers or meet the criteria in Section 3. Expanded vinyl wall coverings shall comply with the requirements for textile wall and ceiling materials. (803.7)

4. Toilet room floors shall have a smooth, hard nonabsorbent surface that extends upward onto the walls at least 4 inches. (1210.2.1 5. Walls within 2 feet of urinals and water closets shall have a smooth, hard

nonabsorbent surface, to a height of 4 feet above the floor. (1210.2.2)

CEILING HEIGHTS:

Occupiable spaces, habitable spaces and corridors shall have a ceiling height of not less than 7 feet 6 inches. Bathrooms, toilet rooms, kitchens, storage rooms and laundry rooms shall be permitted to have a ceiling height of not less than Tfeet. (1208.2)

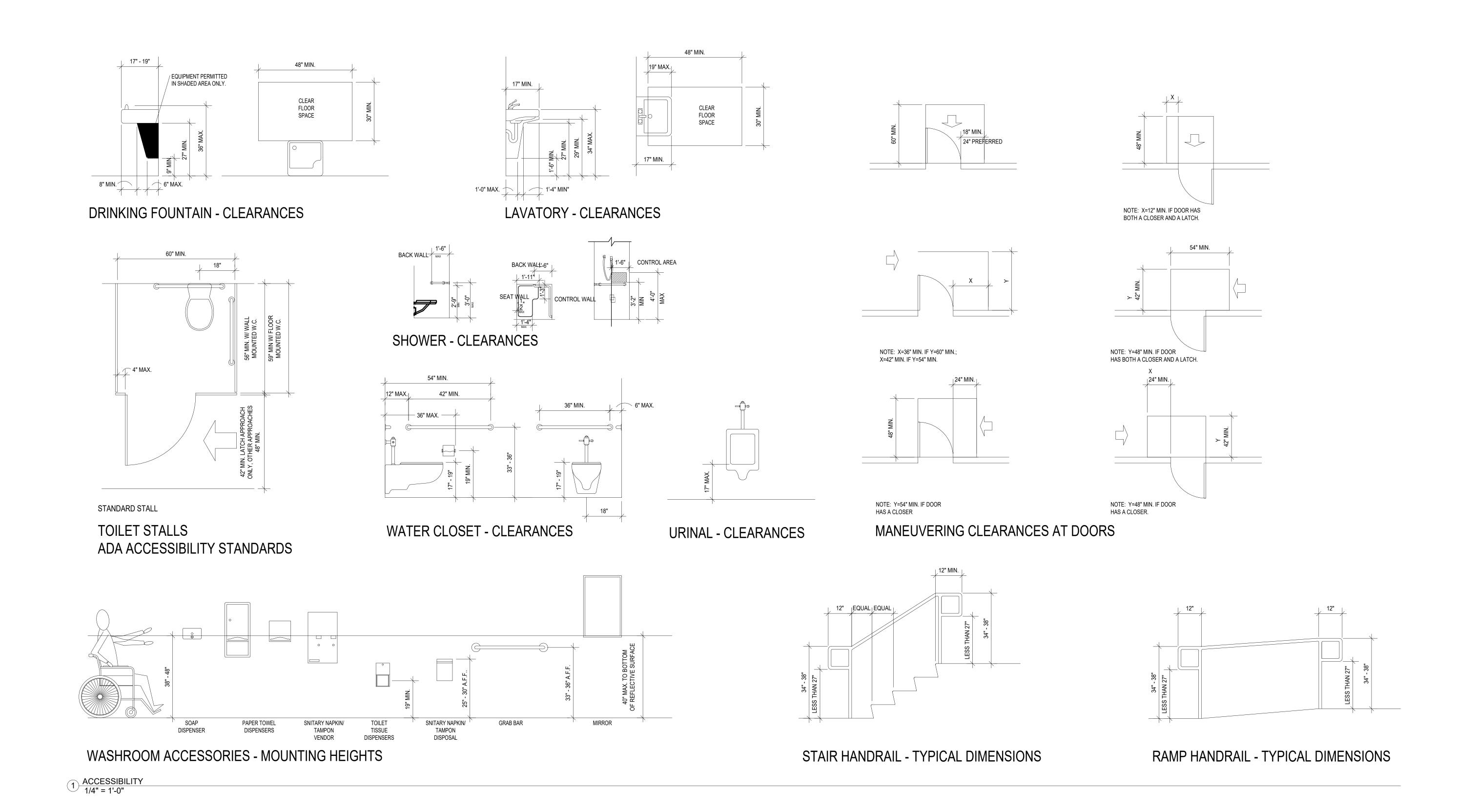
INSULATION NOTES:

1. Insulating materials shall have a flame-spread rating of no more than 25 and a smoke developed index of not more than 450. (720.2) 'concealed installation' and Sec. 720.3 'exposed installation' 2. Where such materials are installed in concealed spaces, the flame spread and

smoke developed limitations do not apply to facings, coverings and layers of

reflective foil that are installed behind and in substantial contact with the

unexposed surface of the ceiling, wall or floor finish. (720.2.1) Foam plastic insulations are required to be protected. (2603)



A. FOLLOWING ARE MINIMUM INSULATION REQUIREMENTS:
-ROOF/CEILINGS: 81/4" SIPS PANEL WITH R31.5
-FRAMED EXTERIOR WALLS: R-19 CAVITY INSULATION PLUS R-6.6 CONTINUOUS INSULATION USING AN INTEGRAL CONTINUOUS INSULATION,
SHEATHING & AIR BARRIER SYSTEM, ZIP SYSTEM OR EQUAL. PROVIDE VAPOR BARRIER AT THE WARM SIDE AT ALL FIBERGLASS BATT

INSULATION.
-SLAB ON GRADE: SCARIFIED EARTH, GEOTECH FABRIC, AIR PERMIABLE GRAVEL, 6 MIL VAPOR BARRIER, RERIGID INSULATION UNDER
HEATED SLAB WITH RIS FOR 36 INCHES PERPENDICULAR TO SLAB AT PERIMETER.

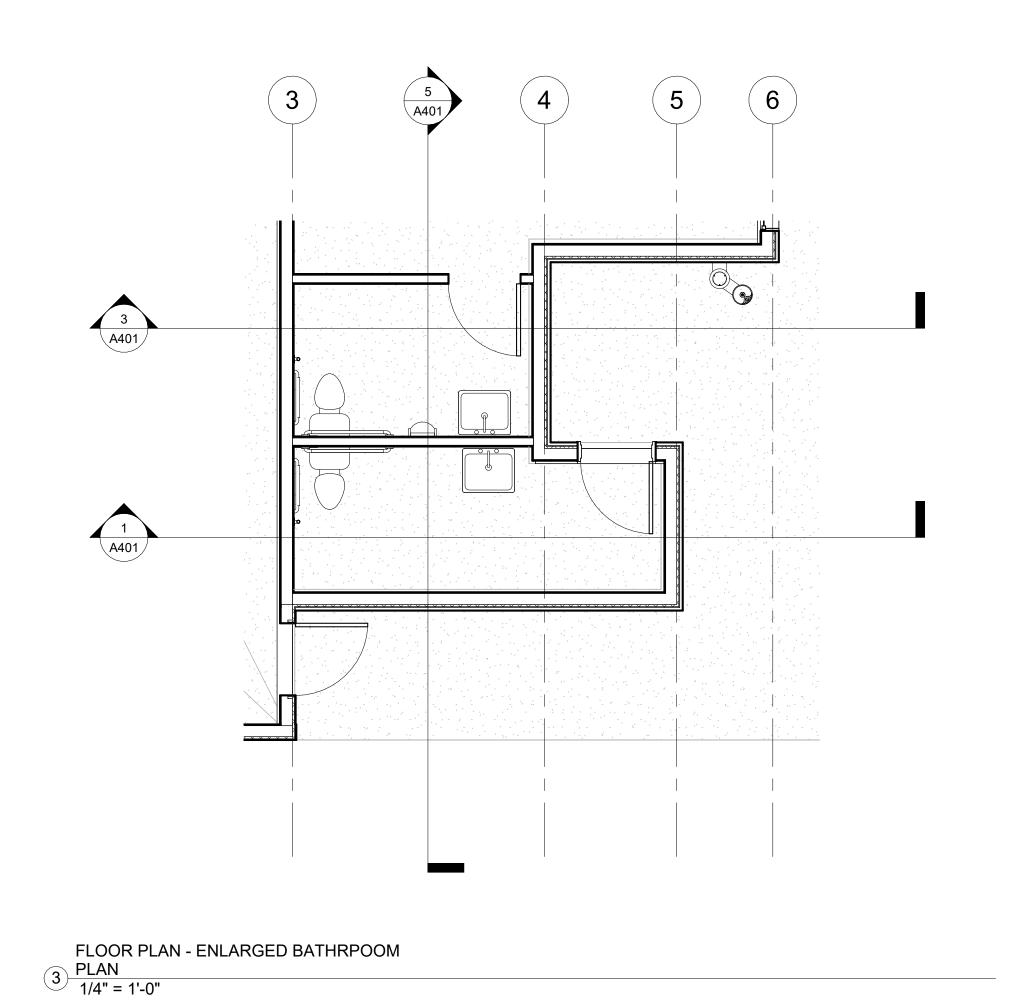
C. ALL WALL ASSEMBLIES IN THE BUILDING THERMAL ENVELOPE SHALL HAVE A CLASS FOR IT VAPOR RETARDER ON THE INTERIOR SIDE OF THE FRAMED WALL.

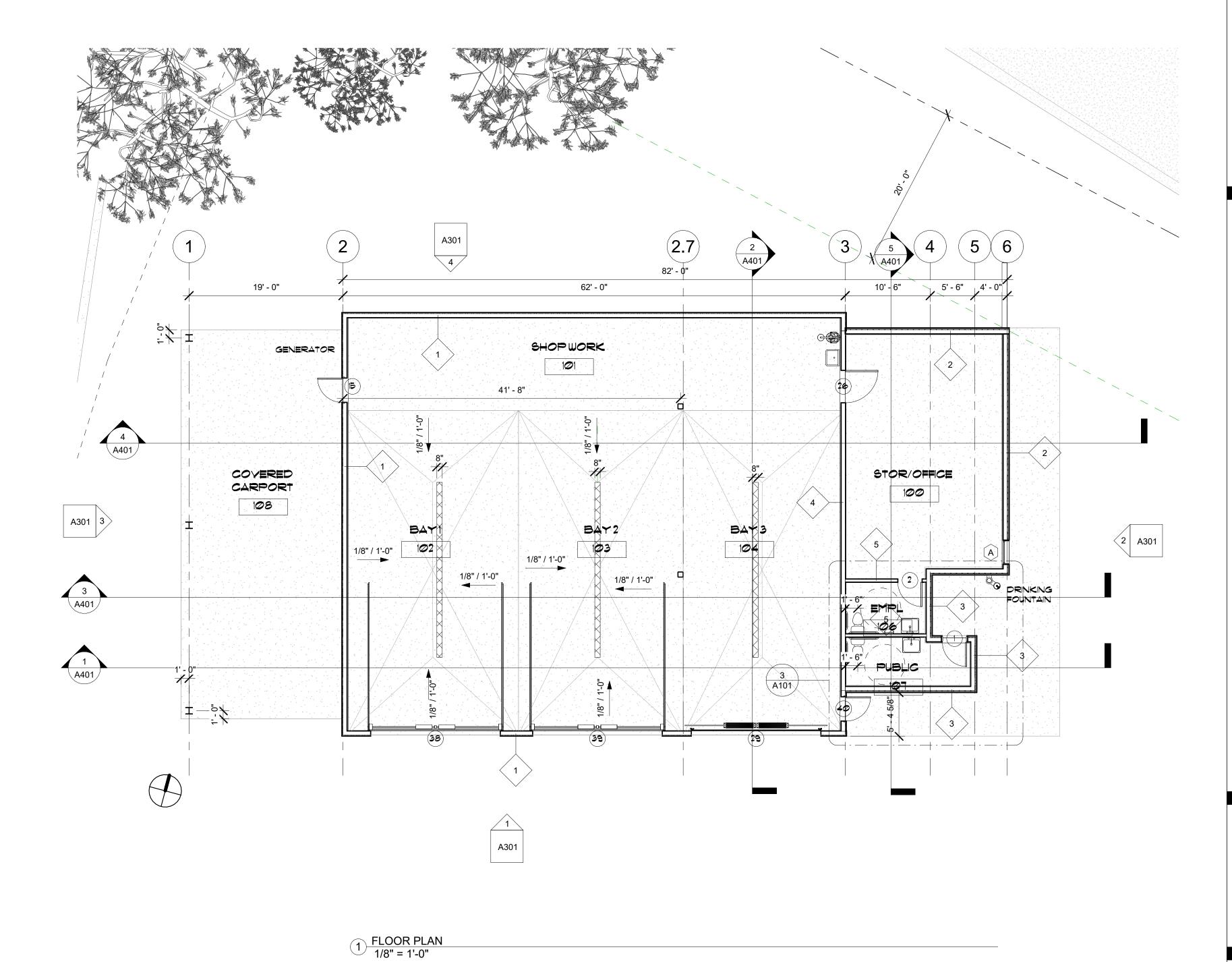
E. ALL WINDOWS SHALL BE FLASHED PER THE MANUFACTURER'S INSTALLATION INSTRUCTIONS. FENESTRATION U-FACTOR'S ARE REQUIRED TO BE .30 IECC TABLE NI102.1.2 (R402.1.2)

K. ROOF TOP MOUNTED SOLAR PY SYSTEMS ARE REQUIRED TO BE DESIGNED TO STRUCTURALLY SUPPORT THE SYSTEM, HAVE PROPER ROOF ACCESS AND PATHWAYS PER CODE.

O. ALL RUSTED SIDING TO BE "PRE-RUSTED" PRIOR TO INSTALLATION.

BATHROOM ACCESSORY SCHEDULE





RICO

A. ALL ROOF AREAS TO BE COVERED WITH ICE AND WATER SHIELD AT EAVES & VALLEYS, SYNTHETHIC UNDERLAYMENT AT ALL OTHER AREAS. LAP PER MANUFACTURER'S REQUIREMENTS.

B. ROOFING TO BE PRE-FINISHED STANDING SEAM METAL ROOFING, 40-YEAR MINIMUM WARRANTY. INSTALL PER MANUFACTURER'S SPECIFICATIONS. ORDER ROOFING OVERAGE FOR DAMAGE. FIELD CUTS TO BE CLEAN WITHOUT ROUGH OR RAGGED EDGES, & INSTALL IN PLACE WHERE NOT SEEN. INSTALL ALL ROOFING WITHOUT MARRING, SCRATCHING, BENDING, RIPPLES.

C. PROVIDE ALL GALVANIZED NAILS OR SCREWS, SEALANTS & FASTENERS TO MEET MANUFACTURER'S REQUIREMENTS FOR WIND & CAPILLARY ACTION CONTROL AND WARRANTY.

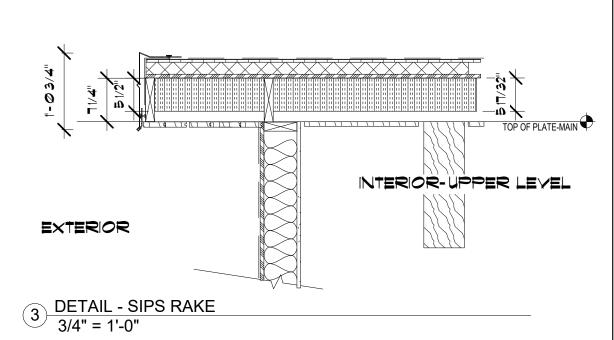
D. ALL 24 GA. PREFINISHED METAL FLASHING TO BE INSTALLED WITHOUT MARRING, SCRATCHING, BENDING OR RIPPLES. LEAVE NO ROUGH OR RAGGED EDGES SHOWING. COLOR TO BE SELECTED BY OWNER.

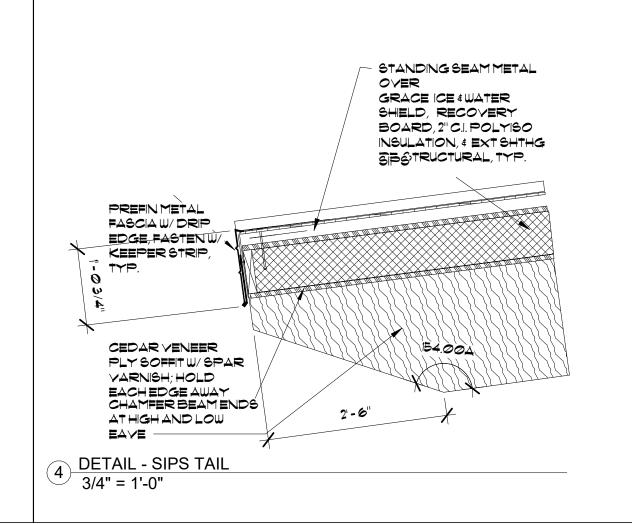
E. CONFIRM EXISTING CONDITIONS BEFORE ORDERING MATERIALS. PROVIDE CLEAN ROOF SURFACE FREE FROM DEBRIS, GREASE AND DUST BEFORE INSTALLING ROOFING.

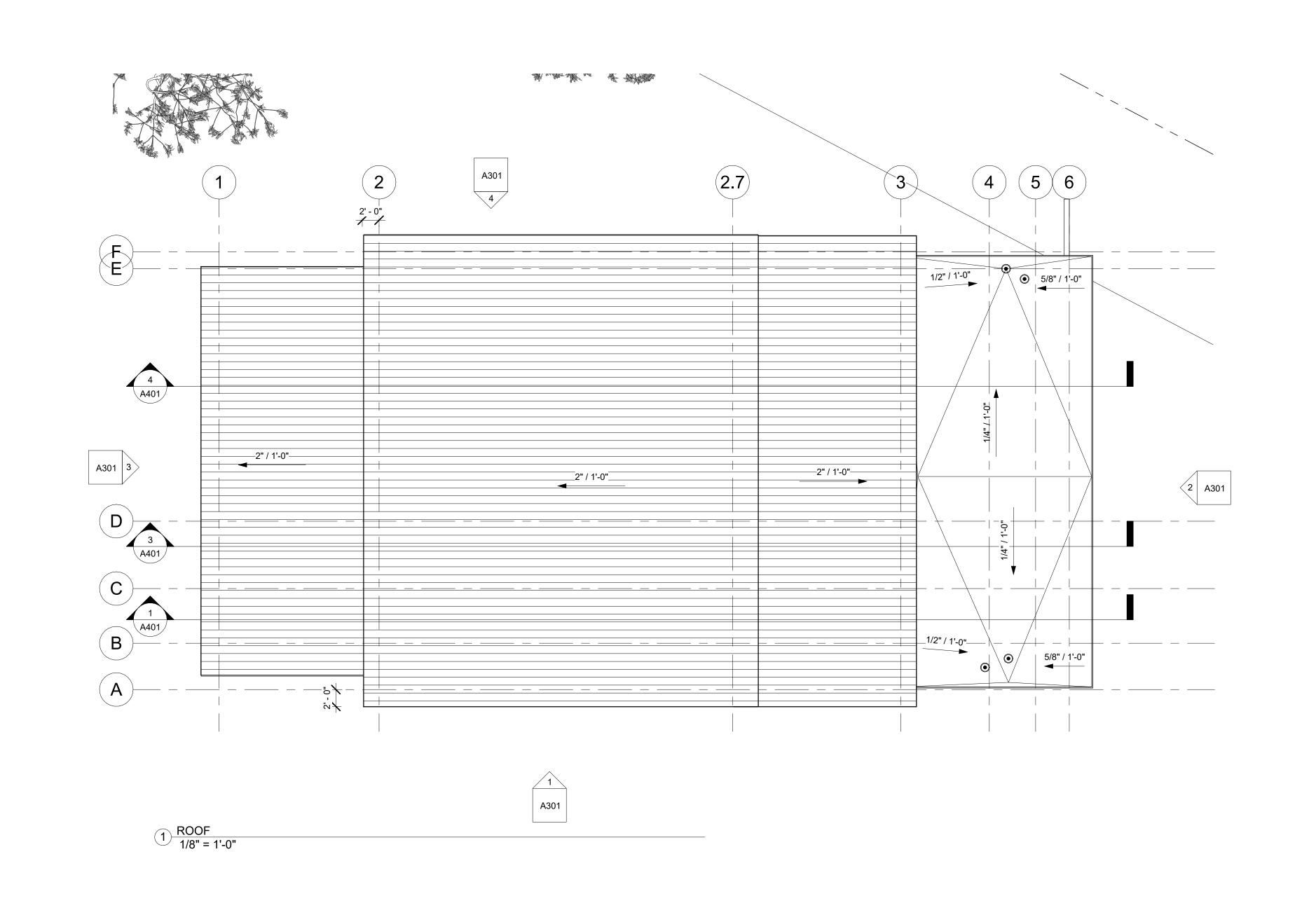
F. CRICKETS: CRICKETS TO BE 24 GA. PREFINISHED METAL, COLOR TO MATCH OTHER FLASHINGS. INSTALL OVER ICE AND WATER SHIELD.

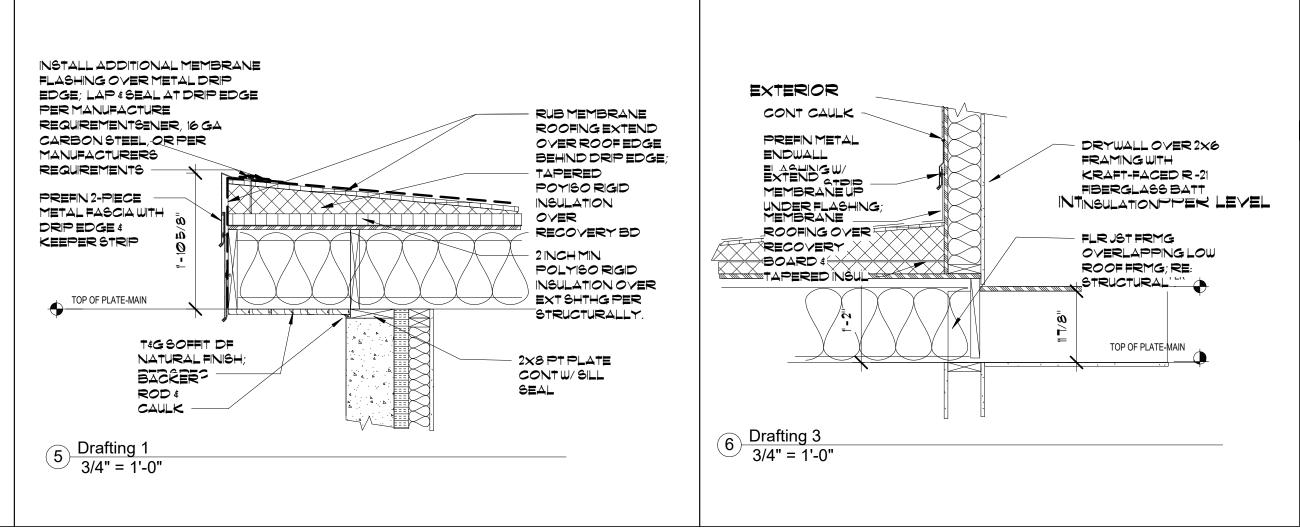
G. ROOF JACKS: PROVIDE ROOF JACKS AT ALL ROOF PENETRATIONS, DEKTITE OR EQUAL. NO MASTIC TO SHOW ON OUTSIDE.

H. PROVIDE VENTED SOFFIT PANELS AT HIGH SIDE AND LOW SIDE OF OF ROOF AT EAVES.









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RICO

Author
JWA
50% CD
2/10/2023

Drawn By
Checked By
Issue

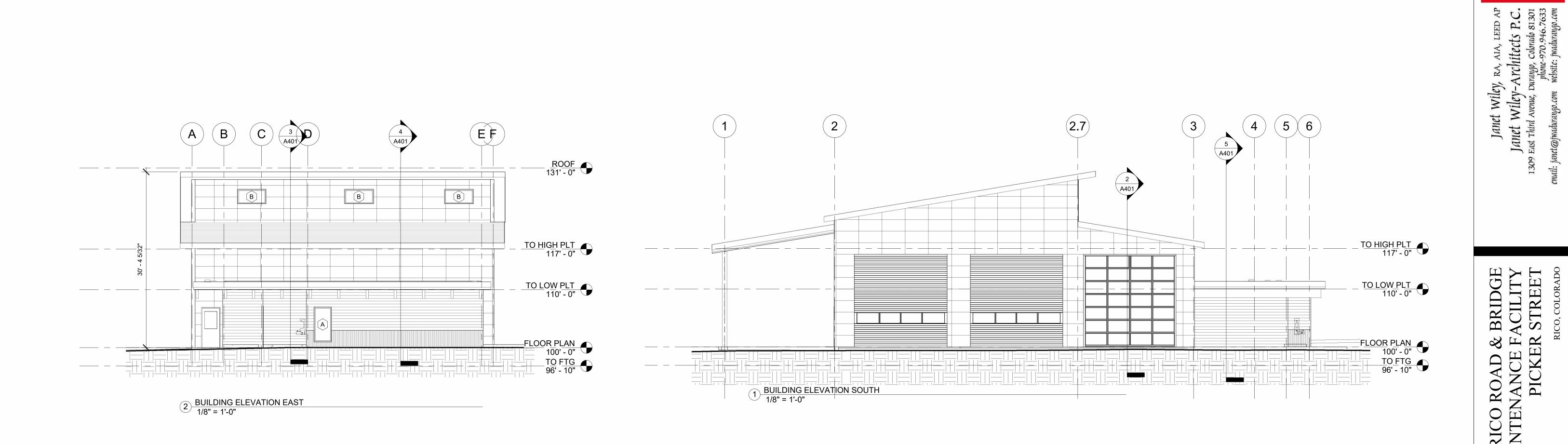
A201

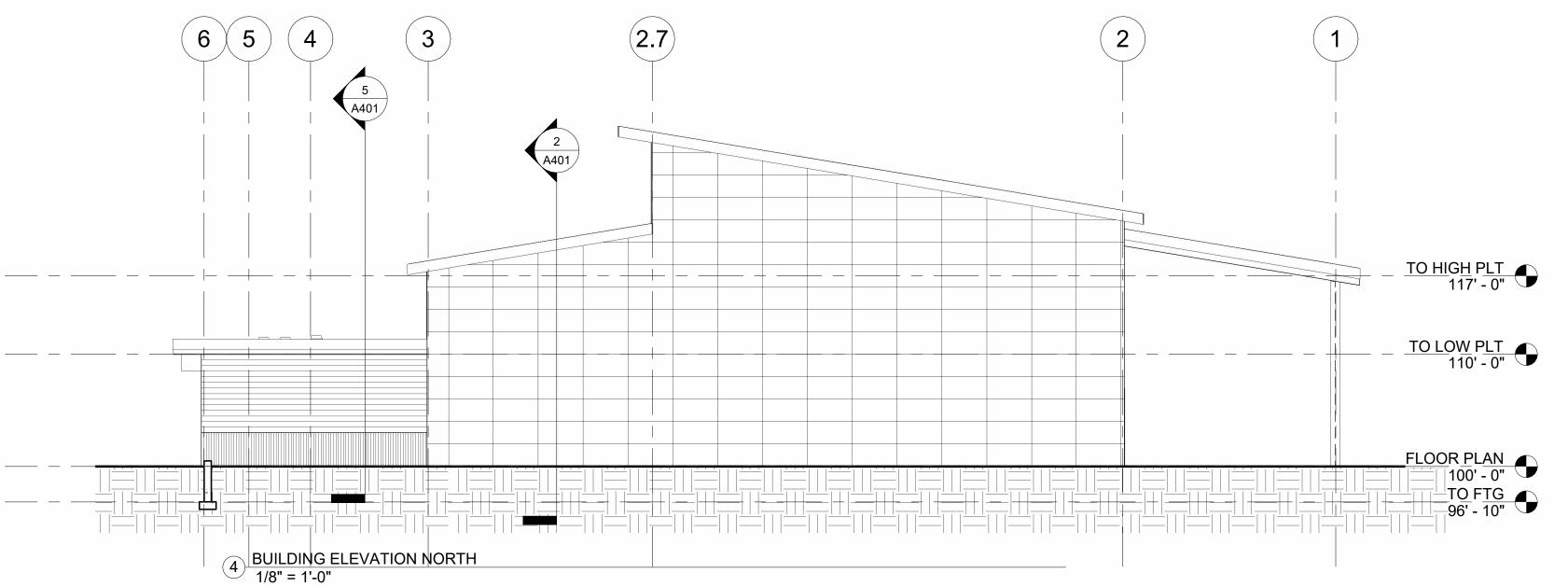
TO HIGH PLT 117' - 0"

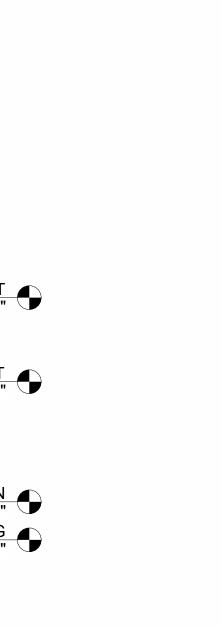
TO LOW PLT 110' - 0"

FLOOR PLAN 100' - 0"

BUILDING ELEVATIONS



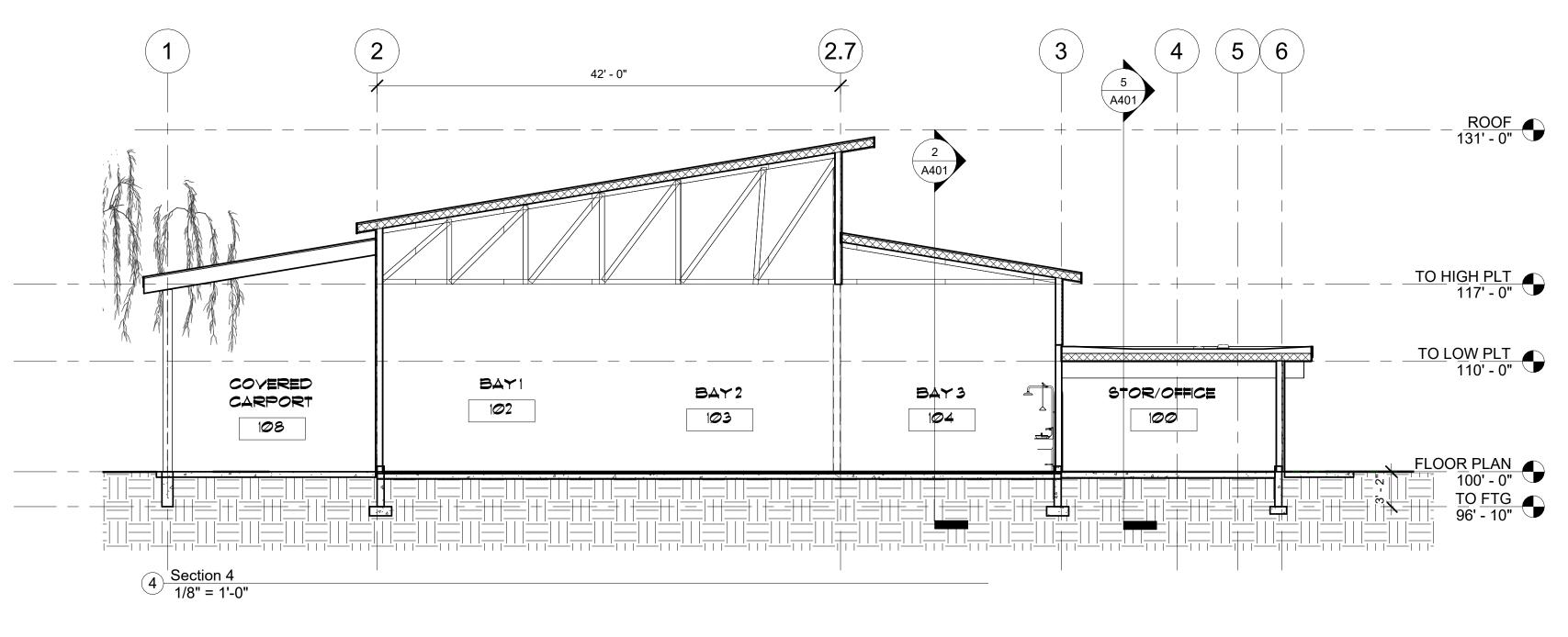


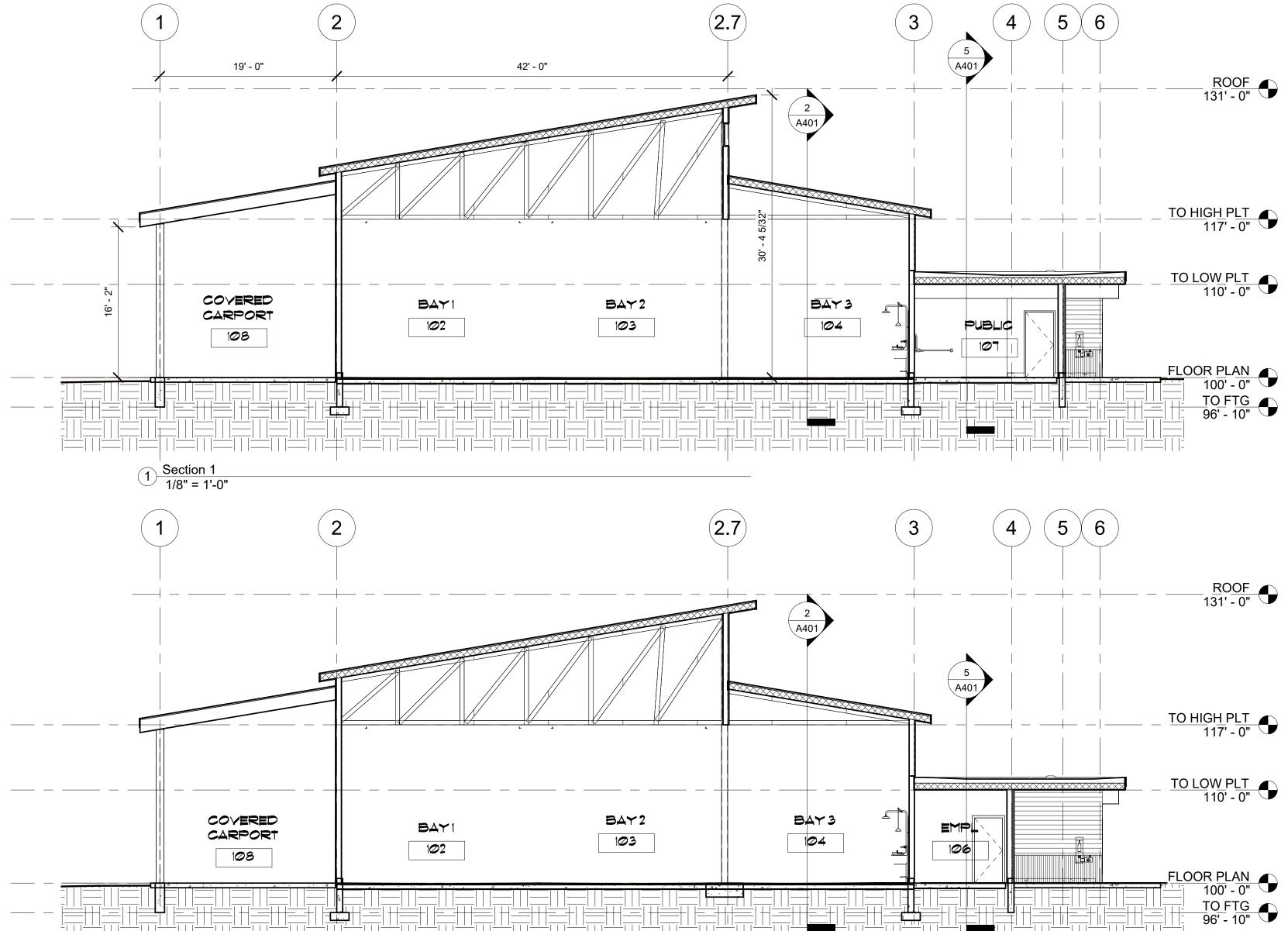


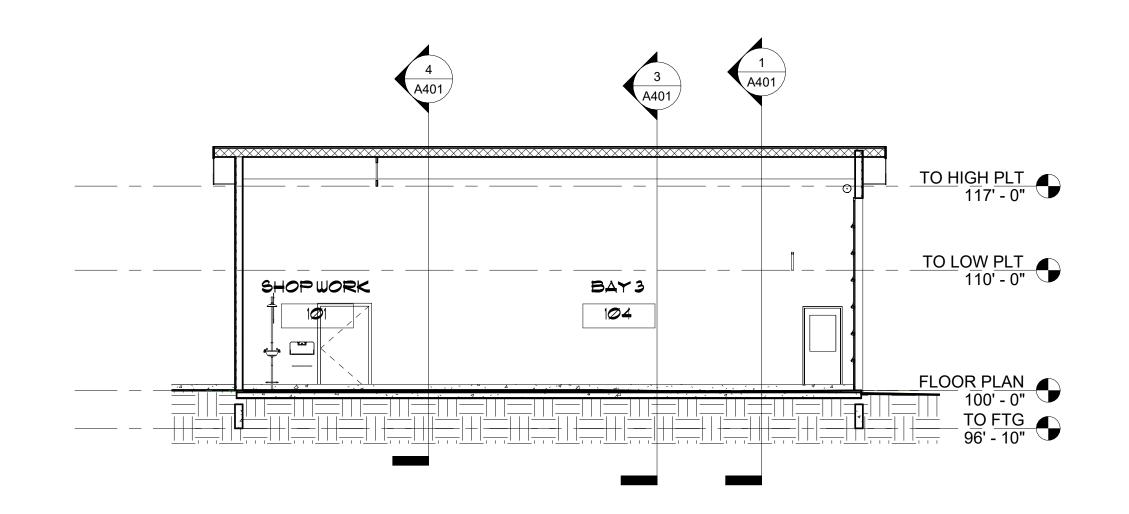
FE

3 BUILDING ELEVATION WEST 1/8" = 1'-0"

3 Section 3 1/8" = 1'-0" A401
BUILDING







2 Section 2 1/8" = 1'-0"

