

Town of Rico Memorandum

Date: July 15th, 2022

TO: Town of Rico Board of Trustees

From: Chauncey McCarthy

Consideration of an application for a road building permit, Block 9 S Commercial Street, Flatt Family LLP, applicant

Included in this packet is cover memo from staff, and an application from Flatt Family LLP for a road building permit, Block 9 S Commercial Street.

Consideration of an extension of the Dolores River Trail subdivision submittal timeline for preliminary plat

Included in this packet is a cover memo from staff and letter from the Dolores River Trail subdivision applicant requesting an extension for submittal timeline for preliminary plat.

Consideration of a liquor license renewal application, Metropole LLC, applicant

Included in this packet is an application for a liquor license renewal, metropole LLC, applicant. The application is complete and compliant with no noted changes.

Recommended Motion:

- I move to approve the liquor license renewal application, Metropole LLC, applicant

Consideration of letter of intent to participate in the coordinated election with Dolores County on November 8, 2022

Included in this packet is a letter of intent to participate in the coordinated election with Dolores County on November 8, 2022.

Recommended Motion:

- I move to approve the letter of intent to participate in the coordinated election with Dolores County on November 8, 2022

Voluntary lead soils clean up (“VCUP”) agreement status

Mayor Pieterse to lead a discussion on the status of the Voluntary lead soils clean up (“VCUP”) agreement.

Evaluation of residential water usage rate

A Trustee wanted the board to discuss the current residential water usage rate to determine if the Board of Trustees should consider increasing this rate as a means to offset capital expenditures the water system will need in the future. Included in this packet is the 2021 DOLA water and wastewater rate survey. The 5th row of the table shows average monthly bill for 10,000 gallons of water usage. If a residential account in the Town of Rico used 10,000 gallons per month their bill would be \$73. This rate is close to the median of the compiled data. If comparing Rico to other smaller and/or mountain communities, you will see the town's rates are slightly lower.

Quarterly financial review

Included in the packet are the comparative income statement to budget for quarter two. All town funds have seen growth since the start of the year. Sales tax revenue is tracking higher then expected and has been a major proponent to the growth of the funds. I will lead a more in-depth discussion about the town finances at the meeting.

Town shop update

A few weeks ago, our local DOLA rep, Patrick Rondinelli, came to Rico to discuss grant opportunity and took a tour of the town's shop. He proposed that the town pursue an EIAF planning grant to offset the architectural and engineering aspects of the project. To be awarded a planning grant the town needs to submit a letter to Patrick, signed by the mayor. It must state; project scope, budget and timeline, financial need, project urgency and readiness to begin, and the energy and mineral impact on the community.

Over the past month the town has worked towards a wetland delineation of the new, 3.98-acre, shop parcel along with having the land surveyed. I have submitted an RFQ to a few different turnkey planning/design/architecture/engineering firms. I have heard back from two firms that would be interested in this project and have worked with the town on past projects. They plan to submit qualifications, scoping letter, and estimate cost within a few weeks.

Once the planning and engineering has been completed the town can apply for a tier 2 EAF grant (Deadline March 2023). These grants traditionally require a 50% match. Grant matches have historically been hard for the town due to limited cash flow. SMART is willing to provide some of the match to secure a bus bay, and the town is considering selling the main street commercial space to provide additional funds. Although both these options will help in offsetting the grant match, they may not be enough to cover the entirety of the expense. Patrick suggested the town works with a securities company to engage in a lease purchase option to provide the additional funds. (A lease purchase option would allow the town to take debt against town owned property or building similar to a home equity loan.)

I have been in communication with Troy Bernberg, Northland Securities, about the project. He has helped with similar funding needs for Silverton and Ouray and has highly recommended by other town managers. Included in this packet is a nonbinding letter of engagement from Northland Securities.

Rico School Building Lease

The Dolores County School District wants to engage in a lease agreement for the school building. Included in this packet is a draft lease from the district. I would like the board to discuss this opportunity and provide feedback on the draft lease along with direction.

Rico Town Park planning update

Over the last month I have been meeting with Christine Fischer and Anais Spitzer to discuss the town park and potential opportunities to improve and grow the facilities. Christine and Anais work with schools and municipalities to oversee park and playground projects from conception to completion. This includes community outreach, planning and design, grant applications, to installations and grant reporting. Included in this packet is both of their resumes, a list of successful projects they completed and photos of a local project they did in Lewis and Cortez.

RICO TOWN BOARD MEETING MINUTES

Date: June 15, 2022

Call to order

Mayor Pro Tem Patrick Fallon called the meeting to order at 7:04PM.

Trustees Present:

Mayor Pro Tem Patrick Fallon
Trustee Christopher Condon (arriving 7:09)
Trustee Joe Croke
Trustee Joe Dillsworth
Trustee Benn Vernadakis
Trustee Linda Yellowman

Trustees Present:

Mayor Nicole Pieterse

Staff Present. Chauncey McCarthy, Anna Wolf

Approval of the Agenda

Motion

To approve the agenda with tabling the VCUP discussion until the July Board of Trustee meeting.

Moved by Trustee Joe Croke, seconded by Trustee Benn Vernadakis.

Vote. A roll call vote was taken and the motion was approved, 5-0.

Approval of Minutes

Motion

To approve all minutes with the correction of Lyons being approved.

Moved by Trustee Benn Vernadakis, seconded by Trustee Joe Dillsworth.

Vote. A roll call vote was taken and the motion was approved, 5-0.

Payment of Bills

Motion

To approve the payment of the bills.

Moved by Trustee Joe Dillsworth, seconded by Trustee Linda Yellowman.

Vote. A roll call vote was taken and the motion was approved, 6-0.

Public Comment.

The Lottery Committee awarded the Town of Rico \$2000 for a new lawn mower.

The Rico Mine Shaft In would like to have the lodging tax repealed for commercial properties. The Board decides that this will be a discussion item during the July Board of Trustee meeting.

Action Items

Consideration of an application for a road building permit, Block 9 S Commercial Street, Flatt Family LLP, applicant

Town Manager Chauncey McCarthy gave summary of the application. The applicant was not present due to a scheduling conflict.

The Board had concerns about the long term maintenance of this new road section. The Board would like more information from the applicant before approving this road. The Board directed staff to look into a maintenance agreement or potential deed transfer possibilities.

Public Comment:

Gerrish Willis suggested that the town vacate the town's portion of the road.

Legal representative Joely expressed it would be a conveyance of the right of way. It would have to be an HOA situation.

Motion

To table it until next month's regular meeting and ask the applicant and his consultants to provide additional engineering if necessary and perhaps a solution to the expense long-term to the town for maintenance of the street drainage and snow removal

Moved by Trustee Joe Croke, seconded by Trustee Benn Vernadakis.

Vote. A roll call vote was taken and the motion was approved, 6-0.

Consideration of an application for a special use permit for the purpose of a short-term rental, 464 Silverglance Way, Michael Turrin, applicant

Town Manager Chauncey McCarthy gave summary of the application.

Board discussed adding an expiration date to STR applications in the future as to avoid perpetual Special Use Permits.

Public Comment:

Public supports a sunset date for the Special use permit.

Motion

To approve the conditions of the sunset expiration of December 31st, 2023 and the conditions of smoke and CO2 detectors, off street parking, and local contact.

Moved by Trustee Chris Condon, seconded by Trustee Benn Vernadakis.

Vote. A roll call vote was taken and the motion was approved, 6-0.

Consideration of an application for a special use permit for the purpose of a short-term rental, 11 B N River, Holly and Tom Bennett, applicants

The Board wanted to ensure that the permit was only for one building on the property. The applicant clarified that it is only for one of the buildings.

Motion

To approve Tom and Holly's application with the same conditions. The sunset applies for December 31st, 2023. CO2 and Smoke detectors, off street parking, and local contact and this special use permit is only for one house on the property.

Moved by Trustee Benn Vernadakis, seconded by Trustee Joe Croke.

Vote. A roll call vote was taken and the motion was approved, 6-0.

Consideration of second reading of ordinance No. 2022-05 ordinance of the town of Rico, Colorado establishing a licensing process for short-term rentals and amending the Rico land Use Code to remove short-term rentals from special use permit review

The Town Manager gave a detailed summary of the Ordinance, the first reading and all pdates that were added following the first reading.

Public Comment:

Gerrish Willis: In favor of this ordinance.

Darrell Huber: is concerned with noise issues. A curfew time of 10:00PM should be added in their contract.

Motion

To approve the second reading of Ordinance number 2022-05.

Moved by Trustee Joe Dillsworth, seconded by Trustee Benn Vernadakis.

Vote. A roll call vote was taken and the motion was approved, 4-2.

Consideration of second reading of ordinance No 2022-06 an ordinance of the town of Rico, Colorado amending the Rico land use code fee schedule and review process for subdivision applications

Town Manager Chauncey McCarthy gave a summary of the ordinance. The fee of \$300 for extension was added after the first reading. The Town Manager explained the pass through accounts that we currently use. This ordinance would add additional revenue to the Town.

This was a staff driven request. Legal helped strengthen the code.

Motion

To approve the second reading of Ordinance No. 2022-06.

Moved by Trustee Benn Vernadakis, seconded by Trustee Linda Yellowman.

Vote. A roll call vote was taken and the motion was approved, 6-0.

Consideration of second reading of ordinance No 2022-07 an ordinance of the town of Rico, Colorado amending ordinance no. 2022-02 to adjust the collection schedule and required documentation for lodging tax return

Town Manager Chauncey McCarthy gave a summary.

Legal summarized the difference between the first and second reading. The returns are confidential and cannot be shared.

Motion

To approve the second reading of Ordinance No. 2022-07.

Moved by Trustee Joe Dillsworth, seconded by Trustee Linda Yellowman.

Vote. A roll call vote was taken and the motion was approved, 6-0.

Consideration of Resolution No. 2022-01 a Resolution of the Town of Rico electing to opt out of receiving opioid settlement funds and providing said funds to the regional pool.

Town Manager Chauncey McCarthy gave a summary.

No Board comment.

Motion

To approve resolution 2022-01

Moved by Trustee Linda Yellowman, seconded by Trustee Benn Vernadakis.

Vote. A roll call vote was taken and the motion was approved, 6-0.

Consideration of CSAFE investment opportunity and Resolution 2022-02 a Resolution of the Town of Rico electing to participate in the Colorado Surplus Asset Fund Trust

The Town Manager provided a summary of the presentation from the previous month. Projection is 3% by the end of the summer.

The Board discussed the option and agreed on investing \$300,000 from the General Fund.

Board agrees with the Town Manager Chauncey McCarthy's recommendation of \$300,000 on top of the \$73,000 currently on ColoTrust to be transferred into CSAFE.

Motion

Move to approve as recommended.

Moved by Trustee Joe Dillsworth, seconded by Trustee Linda Yellowman.

Vote. A roll call vote was taken and the motion was approved, 6-0.

Consideration of request for extension of time to file audit for year-end December 31, 2021

Summary provided by the Town Manager.

Motion

To approve the request for an extension for extension of time to file audit for year-end December 31st, 2021

Motion

Move to approve as recommended.

Moved by Trustee Linda Yellowman, seconded by Trustee Joe Dillsworth.

Vote. A roll call vote was taken and the motion was approved, 6-0.

Staff ReportsClerk's Report.

The Town Clerk is now a Notary.

Manager Report.

The town has access to Nixel notifications.

Spring Clean-up was a success. The Town Manger is looking into an alternative as the town clean-up has turned into a mattress disposal as well as construction disposal.

Chauncey will be out of the office June 20-24 to attend the CML conference.

The Dolores School district is considering engaging in a use permit with the town. They are backing out of conveying the land. The School district would like to see the town in the building. This will be a discussion item likely next month.

Shop Update: Working on a sizable match opportunity however the deadline is close so it is not certain if the town can meet that deadline. The town needs a budget so the Town manager can apply for grants.

Discussion Items

4th of July celebration: Currently in sage 2 fire restriction. If this stage remains there will be no fireworks. Board agreed that the town should have a fire wise sign to put out.

Vacant Planning seat: The Town Manager brought the Boards attention that Rebecca is no longer a Rico resident. This vacancy SHALL be filled.

Motion

To adjourn Board of trustee meeting

Moved by Trustee Joe Croke, seconded by Trustee Benn Vernadakis.

Vote. A roll call vote was taken and the motion was approved, 6-0.

The meeting adjourned at 8:57pm.

Anna Wolf
Rico Town Clerk

Nicole Pieterse
Mayor

NEW Town of Rico - General Fund
Check Register
 For the Period From Jul 1, 2022 to Jul 31, 2022

Filter Criteria includes: Report order is by Date.

Check #	Date	Payee	Cash Account	Amount
17421	7/13/22	Town of Rico	10000	2,254.81
17422	7/13/22	Town of Rico	10000	2,254.81
17423	7/13/22	Fraley Propane, LLC	10000	603.00
17424	7/13/22	WM Corporate Services, I	10000	92.82
17425	7/13/22	Jon Kelly	10000	375.00
17426	7/13/22	Century Link	10000	48.45
17427	7/13/22	WM Corporate Services, I	10000	4,842.39
17428	7/13/22	San Miguel Power Associ	10000	90.00
17429	7/13/22	UPS	10000	1.14
17430	7/13/22	Rico Telephone Company	10000	243.88
17431	7/13/22	CEBT	10000	3,425.40
17432	7/13/22	CEBT	10000	3,425.40
17433	7/13/22	Colorado Dept of Public H	10000	20.00
17434	7/13/22	Utility Notification Center	10000	11.70
17435	7/13/22	Kaplan Kirsch Rockwell	10000	16,329.65
Total				<u>34,018.45</u>

NEW Town of Rico - Water Fund
Check Register
For the Period From Jul 1, 2022 to Jul 31, 2022

Filter Criteria includes: Report order is by Date.

Check #	Date	Payee	Cash Account	Amount
4407	7/13/22	Rico Telephone Company	10000	115.00
4408	7/13/22	Town of Rico	10000	5,691.66
4409	7/13/22	Town of Rico	10000	1,935.00
4410	7/13/22	Town of Rico	10000	687.00
4411	7/13/22	AT&T Mobility	10000	111.32
4412	7/13/22	Fraleay Propane LLC	10000	402.00
4413	7/13/22	San Juan Basin Health De	10000	60.00
4414	7/13/22	San Miguel Power Associ	10000	745.00
4415	7/13/22	USA BlueBook	10000	711.28
4416	7/13/22	Hockersmith & Whitmore,	10000	355.00
4417	7/13/22	Ferguson Waterwork #111	10000	1,551.01
Total				12,364.27

NEW Town of Rico - Sanitation Fund
Check Register
For the Period From Jul 1, 2022 to Jul 31, 2022

Filter Criteria includes: Report order is by Date.

Check #	Date	Payee	Cash Account	Amount
1424	7/13/22	Town of Rico	13500	583.33
Total				583.33

2018 NEW Town of Rico - Street Fund
Check Register
For the Period From Jul 1, 2022 to Jul 31, 2022

Filter Criteria includes: Report order is by Date.

Check #	Date	Payee	Cash Account	Amount
2788	7/13/22	Slavens, Inc	10000	12.99
2789	7/13/22	Rico Telephone Company	10000	42.82
2790	7/13/22	Town of Rico	10000	2,016.66
2791	7/13/22	Town of Rico	10000	1,125.00
2792	7/13/22	WM Corporate Services, I	10000	163.58
2793	7/13/22	San Miguel Power Associ	10000	134.00
2794	7/13/22	Senergy Petroleum, LLC	10000	1,886.46
Total				<u>5,381.51</u>

NEW Town of Rico - Open Park Fund
Check Register
For the Period From Jul 1, 2022 to Jul 31, 2022

Filter Criteria includes: Report order is by Date.

Check #	Date	Payee	Cash Account	Amount
1708	7/13/22	WM Corporate Services, I	11000	92.34
1709	7/13/22	San Miguel Power Associ	11000	23.00
1710	7/13/22	Town of Rico	11000	2,050.00
1711	7/13/22	Town of Rico	11000	744.38
1712	7/13/22	Slavens, Inc	11000	49.98
Total				<u>2,959.70</u>

**TOWN OF RICO
DOLORES COUNTY, COLORADO
INCORPORATED OCTOBER 11, 1879
2 North Commercial Street
Post Office Box 9
Rico, Colorado 81332
Office # 970.967.2861
Fax # 970.967.2862
www.ricocolorado.gov**

To: Rico Board of Trustees
From: Chauncey McCarthy, Town Manager

Date: 7/12/2022

RE: July 20, Board of Trustees Meeting - Consideration of an application for a road building permit, Block 9 S Commercial Street, Flatt Family LLP, applicant

Flatt Family LLP would like to construct a road splitting South Commercial Street to the east to allow access to lots 28 – 40 of Block 9. They have applied for a road building permit as required by the Rico Land Use Code. The application is included in this packet for your review and is complete and compliant along with a review containing comments from Dan Quigley, P.E. The applicant has revised the submitted plans to address some of the concerns listed by Dan Quigley, P.E, and provided a memo as well.

I have advised the applicant and engineer that they should be available to answer questions from the Board of Trustees at the July 20 Board meeting.

This application came in front of the planning commission during the June 8, 2022 meeting.

Motion

I move to recommend that the Board of Trustees approves the application for a road building permit, Block 9 South Commercial Street, Flatt Family LLP applicant.

Moved by Gerrish Willis, Second by Cristal Hibbard

Vote. A roll call vote was taken, and the motion was approved, 5-0.

The public hearing for this application was continued at last month's Board of Trustees meeting on June 15, 2022.

The road, as proposed, varies from the RLUC section 478 road design standards in ways which could create long term maintenance and snow removal issues. On page 1 of 8 of the construction plans, the applicant notes that the proposed road varies from Section 478.4 because of the grade around the initial curve. The review by Dan Quigley, P.E. notes the probability of wash-boarded surfaces on the curves and the need for more frequent Town maintenance.

Section 478 provides: "The Town Board shall have the right to approve Road Building applications that vary from the standards set forth below where the variance in design does not result in safety, emergency vehicle access, or long-term maintenance problems."

The Board of Trustees requested legal and Town staff to review solutions in which the financial burden of maintaining the road would not affect the Town's street fund. Legal has recommended that the applicant and Town enter into a licensing and maintenance agreement.

The concept of a licensing and maintenance agreement is contemplated in the LUC section 467: "Town shall assume all maintenance and repair responsibilities except where a homeowner's association or other entity will assume such responsibility." (Emphasis added.)

Recommended Motion:

- I move to approve the application for a road budling permit, Block 9 S Commercial Street Flatt Family LLP, applicant with the conditions that:
 - (1) The applicant enters into a license and maintenance agreement for the use of the right-of-way and maintenance of the road, and
 - (2) That the license and maintenance agreement be recorded for each lot and that the obligations pass to subsequent property owners.

MEMORANDUM

TO: Chauncey McCarthy, Town of Rico Manager
FROM: Dan Quigley, P.E.
DATE: May 5, 2022
SUBJECT: Design Review Road Improvement Plans, Lots 28-40, Block 9

Mr. McCarthy:

We have completed our review of the proposed Road Improvement Plans to Lots 28-40, Block 9 in the Town of Rico. Those plans were prepared by Alpine Land Consulting (Gregg Anderson, P.E.) and dated April 19, 2022. We have reviewed the plans and offer the following points for your consideration:

Proposed Variances to Rico Land Use Code (LUC) (Code references are italicized)

- *LUC 475.4 - Proposed Off Street Parking:* We take no exception to the individual lot owners providing off-street parking plans as part of their lot development.
- *LUC 478.3 – Improved Road surface shall be a minimum of twenty-four (24) feet in width.* The intent of the access road plans is to provide shared access to each lot and while the 14-foot access road does not meet the 24-foot standard for roadway, it appears adequate for shared access to the lots as intended. We take no exception to this request for variance.
- *LUC 478.3 – Road surface shall a minimum of six (6) inch crown:* Due to the steep terrain, sloping the road to drain downslope is an appropriate drainage solution instead of the required 6-inch crown. As noted in our general comment below, roadway drainage should be managed to minimize downslope erosion. We take no exception to this variance request.
- *LUC 478.4 – The maximum grade of roads thirty (30) feet from intersections, on either side of a proposed driveway access, and on curves with a radius of less than 250 feet shall not exceed 8%.* We agree that using the driveway maximum grade of 10% is appropriate for this low volume access road, but Town staff should be aware of the probability of wash boarded road surfaces on these curves and the need for more frequent maintenance by Town public works staff.

Plan Sheet Comments:

1. Sheet 1 -General waterline notes are listed on Sheet 1 but no waterline improvements other than a fire hydrant are shown on Sheet 7 – Utility Plan. No new services connections are shown or extension of the Town's water main to serve those lots.
2. Sheet 1 – Note 48, first bullet: Please confirm the dimension ration (DR) of the C900 PVC pipe to be installed.
3. Sheet 1 – Note 48, second bullet: This note appears to reference the electrical conductivity maintenance for a structure that isn't part of these plans. Please have the Alpine clarify the intent of this note.
4. Sheet 4 – Driveway Access Profile from STA 10+00 to STA 11+50. PVI Note at STA. 11+55.80 is overprinted. Please correct.
5. Sheets 5 and 6 – Note regarding guard rail or extending boulder wall 30 inches above road grade. Town public works staff should be consulted but guard rails, while an excellent safety feature, are likely to be problematic for snow removal on an access road that is only 14-feet wide. We recommend consideration of large rock block walls to serve the purpose of keeping vehicles in the roadway.
6. Sheet 7 – No plans for water or electrical utility extension and service connections are shown on the utility plan. While lot development may in the future, installation of those services should be considered at the same time and in the design of the proposed access road. Installation of a water main in a 14-foot wide road would be problematic for owner access to the lots. We recommend that the utility plan include future utility connections to serve the lots.

General Comments:

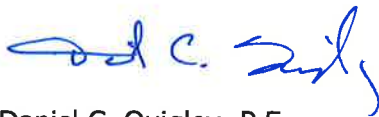
7. No drainage plans were included to examine the potential impact of the access road construction on downslope lots 1-13 of Block 4. Please include permanent drainage/stormwater controls as part of the proposed access road design. General Note 10 indicates that temporary stormwater control is the responsibility of the contractor, but permanent drainage structures should be considered for an access road on steep terrain. The road has been sloped to drain to the downhill side but it is unclear how that drainage will be controlled to minimize downslope erosion impacts.
8. No mention is made of easements for access to lots across adjoining lots. It should be noted that those easements will be required to maintain the lot accesses proposed in these plans.

The plans we reviewed consisted of seven (7) sheets, which are labeled as follows:

- Sheet 1 of 7 – Cover Sheet
- Sheet 2 of 7 – Site Map and Overall Grading Plan
- Sheet 3 of 7 – Access and Road Improvement Plan and profile
- Sheet 4 of 7 – Driveway Accesses Plan and Profile
- Sheet 5 of 7 – Road Sections
- Sheet 6 of 7 – Road Sections
- Sheet 7 of 7 – Utility plan

Thank you for the opportunity to provide plan review for this project. Please contact me at (970) 497-8852 or dquigley@buckhornengineering.com with any questions about our comments.

Best regards,
BUCKHORN ENGINEERING, INC



Daniel C. Quigley, P.E.
Principal





Road Building Application



Applicant Name Flett Family LLP
a Colorado Limited Liability
Partnership % David Flett Phone Number 970-209-0681

Address 5490E Desert Creek Lane
Cave Creek, AZ 85331 Cell Phone Number 970-209-0681

Email davidc.flett@icloud.com Fax Number N/A

Address of Subject Property 200 block of S. Commercial Street

Legal Description of Subject Property Lots 28-40, Block 9
Town of Rico

Zone District of Subject Property Residential

Attachments Required:

- ☒ Site map showing location and extent of work to be performed
- ☒ proposed design specifications, including two-foot contour lines and cross sections at twenty-five foot intervals which adequately illustrate significant grading and drainage conditions;
- ☐ Proposed off-street parking plan [on cover sheet]
- ☐ Proposed snow removal plan [on plans]
- ☒ Statement describing the proposed use of the road; and
- ☐ Where applicable, an improvements agreement with acceptable financial guarantees for Road Building applications that are not part of a subdivision application. [Condition of approval]
- ☒ An application fee in the amount of \$350.00

I swear that the information provided in this application is true and correct and that I am the owner of the property or otherwise authorized to act on behalf of the owner of the property.

Signature: Flatt Family LLP
by [Signature] Date _____
Managing General Partner

Date Application Received 4/28/22

Application Reviewed by CM

Application Fee Received 4/28/22

Date of Hearing PC 5/11/22 BOT 5/18/22

Application Complete 4/29/22

Rico Planning Commission Action _____

Mailing Notice Complete 4/19/22

Approval Subject to Conditions _____

Other comments:

**Flatt Family, LLP
5480 E. Desert Creek Lane
Cave Creek, AZ 85331**

**Chauncy McCarthy
Town Manager
P O Box 9
Rico, CO 813432**

Chauncy:

Attached is my Road Building Application and check in the amount of \$350.

The Site Plan and Construction documents will be delivered by Gregg Anderson.

The proposed use of the road and driveways is to provide vehicle access to each of the 6 homesites located on lots 28-40 as depicted on the construction plans.

Maintenance of the shared driveways constructed on the lots including snow removal will be governed by 2 separate recorded agreements and easements. One maintenance agreement and easement will apply the shared driveway for homesites 1, 2 & 3; Lots 40-35. The other maintenance and easement agreement will include homesites 4 & 5; lots 34-30. Homesite 6 will maintain their own driveway.

The Town of Rico will maintain the road constructed on the East side of Commercial Street which provides access to the lot owner's driveways and homesites.

Let me know if you want any other information or documents.

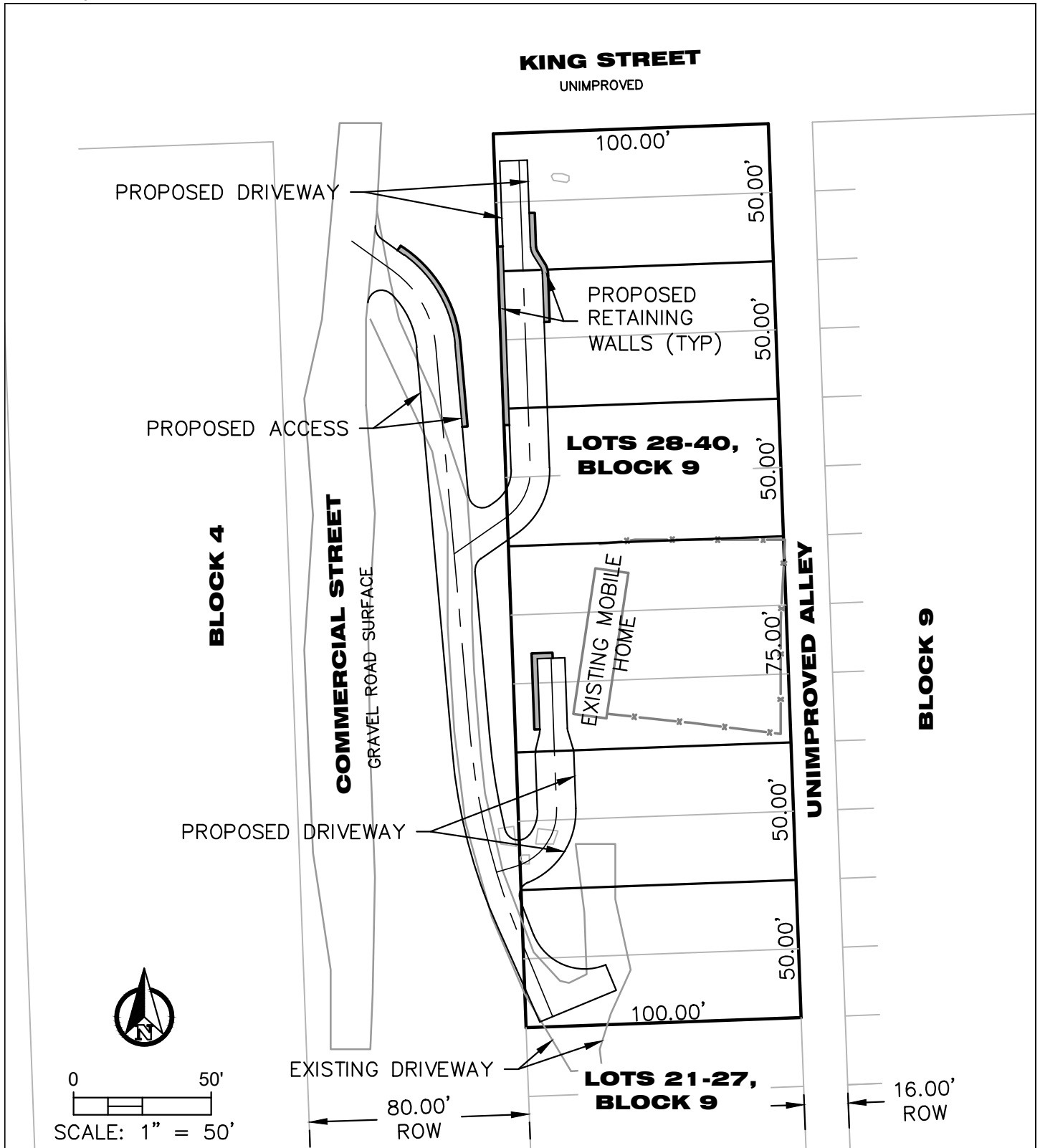
Thank You.

Flatt Family, LLP



**Dave Flatt,
Managing General Partner**

**davidcflatt@icloud.com
970-209-0681**



Lots 28-40, Block 9, Town of Rico
Roadway and Access Exhibit



**ALPINE LAND
CONSULTING, LLC**

P.O. BOX 234
RICO, COLORADO 81332
970-708-0326
GREGG@ALPINELANDCONSULTING.COM

PROJECT MANAGER: GEA DATE: APRIL 19, 2022
DRAWN BY: GEA PROJECT #: 2021029

NOTICE OF PENDING ROAD BUILDING APPLICATION

Date: 04-19-22

RE: Public Hearing on Road Building Application

Dear Property Owner,

You are receiving this public notice as required by the Town of Rico Land Use Code because you own property adjacent to the proposed road construction.

Name of Applicant: Flatt Family, LLP c/o David Flatt

Type of Development Application(s): Road Building Application

Legal Description: Lots 24-40, Block 9, Town of Rico. (Commercial Street ROW)

Address: Rico, Colorado

Review Authority: Rico Planning Commission and Rico Board of Trustees

Rico Planning Commission Hearing Date: 05-11-22

Rico Board of Trustees Hearing Date: 05-18-22

Location of Public Hearing: Rico Town Hall, 2 Commercial Street, Rico Colorado, 81332

The application is available for public inspection in the Town Clerks office during normal operating hours.

Send emailed comments addressed to the townmanager@ricocolorado.gov

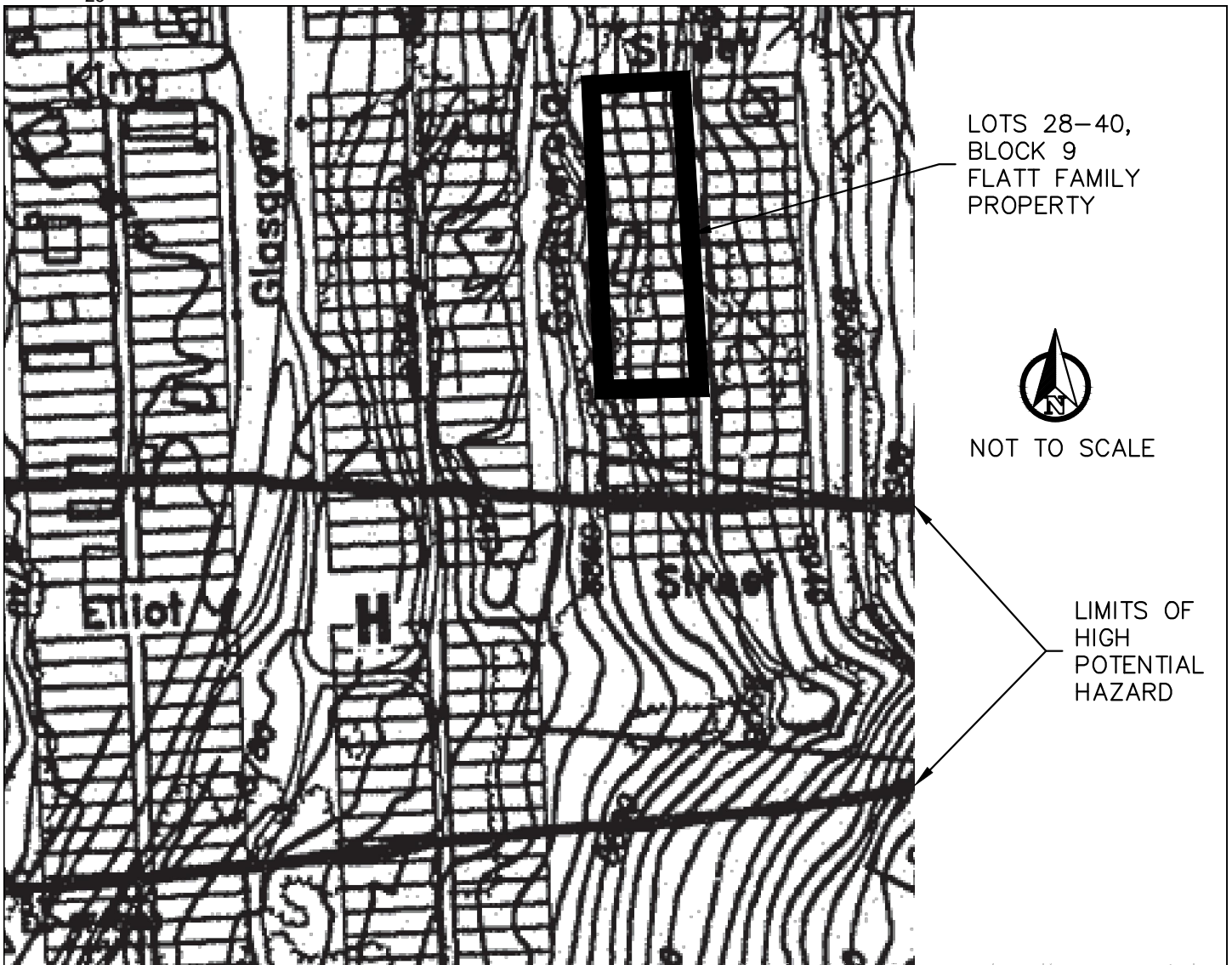
Or by surface mail to:

Chauncey McCarthy

Town of Rico

PO Box 9

Rico Colorado, 81332



LEGEND

1. THIS EXHIBIT IS A PARTIAL BLOW UP OF THE BLOCK 9 AREA FROM THE TOWN OF RICO, COLORADO, MAP 2, AVALANCHE HAZARD, PREPARED BY CHRIS WILBUR, PE, AND DOUG BRADLEY, OCTOBER 1995 AND ADOPTED BY TOWN OF RICO ORDINANCE NO. 1999–7. THIS IS THE ONLY AVALANCHE MAP ADOPTED BY THE TOWN OF RICO BY ORDINANCE AND THE LAND USE CODE.
2. THIS EXHIBIT INDICATES NONE OF THE FLATT FAMILY PROPERTY IS IN AN "H" AVALANCHE AREA PER THE MAP AS LISTED IN NOTE 1.

- H HIGH POTENTIAL HAZARD**
Area of frequent avalanches (average return periods of 30 years or less), or area subject to avalanche impact pressures greater than 30 kPa (630 psf).
- M MODERATE POTENTIAL HAZARD**
Area subject to avalanches with average return periods of 30 to 300 years, and impact pressures less than 30 kPa (630 psf).
- AIZ AVALANCHE INFLUENCE ZONE**
Areas potentially affected by avalanches; Boundaries not delineated in this study.

TOWN OF RICO, BLOCK 9 AVALANCHE HAZARD EXHIBIT



ALPINE LAND
CONSULTING, LLC

PROJECT MANAGER: GEA DATE: MAY 23, 2022
DRAWN BY: GEA PROJECT #: 2021029

P.O. BOX 234
RICO, COLORADO 81332
970-708-0326
GREGG@ALPINELANDCONSULTING.COM

CIVIL CONSTRUCTION DOCUMENTS
ROAD IMPROVEMENT PLANS
LOTS 28-40, BLOCK 9
TOWN OF RICO, DOLORES COUNTY, COLORADO

GENERAL NOTES:

- ALL CONSTRUCTION TO BE COMPLETED PER THE STANDARDS OF THE TOWN OF RICO LAND USE CODE (SEE SECTIONS 470, 474, 478, 490, 492, 494, AND 496).
- AT LEAST TWO (2) FULL WORKING DAYS PRIOR TO COMMENCING CONSTRUCTION THE CONTRACTOR SHALL CONTACT THE UTILITY NOTIFICATION CENTER OF COLORADO AT 1-800-922-1987 OR 811 TO OBTAIN AN INQUIRY IDENTIFICATION NUMBER AND TO REQUEST THE UTILITY OWNERS TO MARK OR OTHERWISE INDICATE THE LOCATION AND DEPTH OF ALL UNDERGROUND UTILITIES, INCLUDING SERVICE CONNECTIONS, WHICH MAY BE AFFECTED BY ITS OPERATIONS. THE CONTRACTOR SHALL TAKE ALL NECESSARY MEASURES TO PROTECT ALL UTILITIES AND ALL STRUCTURES FOUND AT THE SITE.
- CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION OF ALL EXISTING UTILITIES, INCLUDING ANY UTILITIES NOT SHOWN ON THE DRAWINGS WHEN WORKING NEAR EXISTING UTILITIES. THE CONTRACTOR SHALL EXERCISE SUFFICIENT CARE TO PREVENT DAMAGE TO THE LINES IN THE EVENT THAT THE INFORMATION SHOWN ON THE DRAWINGS DOES NOT REFLECT ACTUAL FIELD CONDITIONS.
- IF ANY OF THE EXISTING UTILITIES AND SERVICES ARE IN CONFLICT WITH THE CONSTRUCTION PLANS THE CONTRACTOR SHALL NOTIFY AND WORK WITH THE ENGINEER AND ARCHITECT TO FIND A SOLUTION BEFORE THE START OF ANY CONSTRUCTION ACTIVITIES.
- ALL MATERIALS AND CONSTRUCTION SHALL BE IN CONFORMANCE WITH TOWN OF RICO LAND USE CODE, THE TOWN OF RICO LATEST REVISION JUNE 15, 2011.
- ALL TRENCHES SHALL BE ADEQUATELY SUPPORTED AND THE SAFETY OF WORKERS PROVIDED FOR AS REQUIRED BY THE MOST RECENT OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) "SAFETY AND HEALTH REGULATIONS FOR CONSTRUCTION." THESE REGULATIONS ARE DESCRIBED IN SUBPART P, PART 1926 OF THE CODE OF FEDERAL REGULATIONS. SHEETING AND SHORING SHALL BE UTILIZED WHERE NECESSARY TO PREVENT ANY EXCESSIVE WIDENING OR SLOUGHING OF THE TRENCH WHICH MAY BE DETRIMENTAL TO HUMAN SAFETY. TO THE PIPE BEING PLACED, TO TREES OR TO ANY EXISTING STRUCTURE WHERE EXCAVATIONS ARE MADE UNDER SEVERE WATER CONDITIONS. THE CONTRACTOR MAY BE REQUIRED TO USE AN APPROVED PILING INSTEAD OF SHEETING AND SHORING.
- THE CONTRACTOR SHALL HAVE ONE SIGNED COPY OF THE PLANS APPROVED BY THE TOWN OF RICO AND ONE COPY OF THE APPROPRIATE DESIGN AND CONSTRUCTION STANDARDS AND SPECIFICATIONS ON THE JOB SITE AT ALL TIMES.
- CONTRACTOR AND/OR OWNER TO OBTAIN ALL NECESSARY PERMITS AND APPROVAL BEFORE THE START OF ANY CONSTRUCTION ACTIVITIES.
- IF CUMULATIVE AREA OF DISTURBANCE EQUALS OR EXCEEDS ONE (1) ACRE, ON-SITE EROSION CONTROL SHALL BE PLANNED AND EXECUTED IN CONFORMANCE WITH THE COLORADO DEPARTMENT OF PUBLIC HEALTH AND ENVIRONMENT, WATER QUALITY CONTROL DIVISION, STORM WATER DISCHARGE REGULATIONS.
- THE CONTRACTOR IS RESPONSIBLE FOR IMPLEMENTING AND MAINTAINING EROSION AND SEDIMENT CONTROL MEASURES AT ALL TIMES DURING CONSTRUCTION. THE PLAN MAY BE MODIFIED WITH APPROPRIATE APPROVALS FROM THE TOWN OF RICO AND THE ENGINEER AS FIELD CONDITIONS WARRANT.
- THE CONTRACTOR SHALL PROVIDE, ERECT AND MAINTAIN PROPER TRAFFIC CONTROL DEVICES UNTIL THE SITE IS OPEN TO TRAFFIC. THE CONTRACTOR SHALL PROVIDE A TRAFFIC CONTROL PLAN TO THE ENGINEER BEFORE THE START OF ANY CONSTRUCTION.
- BENCHMARK: FOUND ALUMINUM CAP AT THE CENTERLINE INTERSECTION OF GLASGOW AVE AND KING STREET WITH AN ELEVATION OF 8772.26' ON TOPOGRAPHIC MAP OF LOTS 28-40, BLOCK 9, THE TOWN OF RICO, DOLORES COUNTY, COLORADO DATED 09/18/2020 BY ALL POINTS LAND SURVEY. CONTACT TOM CLARK AT (970) 708-9694 FOR MORE BENCHMARK INFORMATION.
- REPAIR OF ANY DAMAGE TO EXISTING IMPROVEMENTS OR LANDSCAPING IS THE RESPONSIBILITY OF THE CONTRACTOR.
- CONTRACTOR MUST AWARE OF ALL TREES TO REMAIN PER THE DESIGN REVIEW BOARD APPROVAL PROCESS AND PROTECT THOSE TREES DURING CONSTRUCTION.
- ALL CONSTRUCTION ACTIVITIES MUST COMPLY WITH THE STATE OF COLORADO PERMITTING PROCESS FOR "STORMWATER DISCHARGES ASSOCIATED WITH CONSTRUCTION ACTIVITY." FOR INFORMATION, PLEASE CONTACT COLORADO DEPARTMENT OF HEALTH, WATER QUALITY CONTROL DIVISION, WQCD-PE-B2, 4300 CHERRY DRIVE SOUTH, DENVER, COLORADO 80222-1530. ATTENTION: PERMITS AND ENFORCEMENT SECTION. PHONE (303) 692-3500.

GENERAL NOTES CONT.:

- PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION, THE CONTRACTOR SHALL CONTACT ALL UTILITY PROVIDERS TO COORDINATE SCHEDULES.
- CONTRACTOR SHALL NOTIFY ALL RESIDENTS IN WRITING 24 HOURS PRIOR TO ANY SHUT-OFF IN SERVICE. THE NOTICES MUST HAVE CONTRACTOR'S PHONE NUMBER AND NAME OF CONTACT PERSON, AND EMERGENCY PHONE NUMBER FOR AFTER HOURS CALLS. ALL SHUT-OFF'S MUST BE APPROVED BY THE TOWN, AND TOWN VALVES AND APPURTENANCES SHALL BE OPERATED BY TOWN PERSONNEL, UNLESS WRITTEN PERMISSION IS GIVEN OTHERWISE.
- CONTRACTOR SHALL REGULARLY PATROL THE PUBLIC LANDS ADJACENT TO THE DEVELOPMENT TO REMOVE CONSTRUCTION DEBRIS AND KEEP CLEAN AND SAFE.
- ALL FILL MUST BE COMPACTED TO 90% MODIFIED PROCTOR AT PLUS OR MINUS 2% OF THE OPTIMUM MOISTURE CONTENT OR AS REQUIRED IN THE GEOTECHNICAL ENGINEER'S FINAL SOILS REPORT.
- NATURAL VEGETATION SHALL BE RETAINED AND PROTECTED WHEREVER POSSIBLE. EXPOSURE OF SOIL TO EROSION BY REMOVAL OR DISTURBANCE OF VEGETATION SHALL BE LIMITED TO THE AREA REQUIRED FOR IMMEDIATE CONSTRUCTION OPERATION AND FOR THE SHORTEST PRACTICAL PERIOD OF TIME.
- UNSUITABLE MATERIAL SHALL BE REMOVED AS REQUIRED BY THE SOILS ENGINEER FROM ALL AREAS TO RECEIVE COMPACTED FILL OR DRAINAGE STRUCTURES. ALL MATERIALS SUCH AS LUMBER, LOGS, BRUSH, PETE OR ANY OTHER ORGANIC MATERIALS OR RUBBISH SHALL BE REMOVED FROM ALL AREAS TO RECEIVE COMPACTED FILL.
- NO MATERIAL SHALL BE COMPACTED WHEN FROZEN
- TOPSOIL SHALL BE STOCKPILED TO THE EXTENT PRACTICABLE ON THE SITE FOR USE ON AREAS TO BE REVEGETATED. ANY AND ALL STOCKPILES SHALL BE LOCATED AND PROTECTED FROM EROSION ELEMENTS.
- AT ALL TIMES, THE PROPERTY SHALL BE MAINTAINED AND/OR WATERED TO PREVENT WIND-CAUSED EROSION. EARTHWORK OPERATIONS SHALL BE DISCONTINUED WHEN FUGITIVE DUST SIGNIFICANTLY IMPACTS ADJACENT PROPERTY. IF EARTHWORK IS COMPLETE OR DISCONTINUED AND DUST FROM THE SITE CONTINUES TO CREATE PROBLEMS, THE CONTRACTOR SHALL IMMEDIATELY INSTITUTE MITIGATIVE MEASURES AND SHALL CORRECT DAMAGE TO ADJACENT PROPERTY.
- NATIVE MATERIAL AND/OR TOPSOIL STOCKPILED MUST HAVE SEPARATE SILT FENCE AROUND STOCKPILE AND BE VEGETATED WITH NATIVE SEED MIX AS APPROVED BY TOWN OF RICO IF THE STOCKPILE IS TO REMAIN FOR 90 DAYS OR LONGER.
- WATER CAN BE USED AS A DUST PALLIATIVE.
- THE CONTRACTOR SHALL PROVIDE ANY ADDITIONAL DUST ABATEMENT AND EROSION CONTROL MEASURES DEEMED NECESSARY BY THE TOWN, SHOULD CONDITIONS MERIT THEM.

GENERAL WATERLINE NOTES:

- ALL WATERLINE MATERIALS AND CONSTRUCTION SHALL BE IN CONFORMANCE WITH "EXHIBIT A WATER OPERATIONS RULES AND REGULATIONS TOWN OF RICO" ADOPTED NOVEMBER 20, 2019. IF CIVIL CONSTRUCTION PLANS CONFLICT WITH ABOVE STATED DOCUMENT, THE ABOVE STATED DOCUMENT SHALL GOVERN AND THE CIVIL ENGINEER SHALL BE CONTACTED IMMEDIATELY.
- NOTIFY TOWN OF RICO AT LEAST 24 HOURS IN ADVANCE OF PIPE BEING LAID IN ANY TRENCH.
- NO PIPES SHALL BE COVERED, OR BACKFILL, UNTIL OBSERVED BY A TOWN OF RICO INSPECTOR.
- ALL FLUSHING AND DISINFECTING SHALL BE DONE IN ACCORDANCE WITH "EXHIBIT A WATER OPERATIONS RULES AND REGULATIONS TOWN OF RICO".
- MINIMUM COVER OVER WATER MAINS SHALL BE SIX FEET (6') ABOVE TOP OF PIPE.
- ALL WATERLINE MAINS TO BE 25' FROM ANY EXISTING ONSITE WASTEWATER TREATMENT SYSTEM AREA SOIL TREATMENT AREA (OWTS STA OR COMMONLY CALLED SEPTIC FIELD) OR MUST BE ENCASED.
- ALL MAIN LINES MUST HAVE A LOCATE WIRE INSTALLED AT THE DEPTH OF THE PIPE AND BROUGHT UP ON ALL VALVES AND FIRE PLUGS.
- A WARNING RIBBON MUST BE INSTALLED BETWEEN 1 AND 2 FEET ABOVE PIPE.
- ALL WATER MAINS SHALL BE PVC C900.

GRADING AND EROSION CONTROL NOTES CONT.:

- FIRE HYDRANT ASSEMBLY INCLUDES THE FIRE HYDRANT, VALVE AND TEE. INSTALLATION SHALL BE IN ACCORDANCE WITH MANUFACTURES RECOMMENDATIONS AND BE A WATEROUS HYDRANT.
- INSTALL THRUST BLOCKS AT ALL BENDS, STUBS AND TEES IN WATER LINES.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO ADJUST ALL WATER VALVE BOXES TO THE REQUIRED FINAL GRADE.
- CONTRACTOR TO COORDINATE WITH THE TOWN OF RICO FOR SHUT OFF OF WATER SERVICE AS REQUIRED FOR CONSTRUCTION. IF SERVICE CANNOT BE INTERRUPTED THEN A WET TAPS CAN BE USED INSTEAD OF CUT IN TEES, BUT ALL CROSSES MUST BE CUT IN.
- ALL WATER LINES MUST BE INSTALLED AT A DEPTH OF SIX (6) FEET MINIMUM.
- ALL FIRE HYDRANTS TO BE MUELLER FIRE HYDRANT ASSEMBLIES INCLUDING SHUT OFF VALVE AND INSTALLED TEE AT MAIN.
- THE WATER PIPE LINE SHALL BE 6" PVC C900 DR18 PIPE FROM MAIN TO FIRE HYDRANT.

DRY UTILITY NOTES:

- ALL FINAL DRY UTILITIES (ELECTRIC, TELEPHONE, CABLE, GAS, ETC.) DESIGNS TO BE COORDINATED AND COMPLETED BY PROVIDER.
- THE LOCATIONS AND ALIGNMENTS SHOWN IN THESE PLANS ARE APPROXIMATE AND SHALL BE COORDINATED WITH PROVIDERS BEFORE THE START OF UTILITY CONSTRUCTION.

STORM DRAIN NOTES:

- IF ANY PIPES USES, ALL PIPES SHALL HAVE CLASS "B" BEDDING UNLESS OTHERWISE SHOWN. BEDDING MATERIAL SHALL CONFORM TO ASTM C-33 OR D-448, GRADATION NO. 67.
- ANY CULVERTS SHALL BE 16 GAUGE CORRUGATED STEEL PIPE WITH 2-2/3" X 1/2" CORRUGATION.
- EXISTING COMMERCIAL STREET IS LOCATED ON THE WEST SIDE OF THE RIGHT-OF-WAY (ROW) AND IS APPROXIMATELY 24'-32' BELOW THE ELEVATION AT THE BOTTOM OF LOTS 28-40, BLOCK 9. IT PROVIDES ACCESS TO LOTS 1-13, BLOCK 4. THE PURPOSE OF THIS ROAD IMPROVEMENT PLAN IS TO EXPAND AND EXTEND COMMERCIAL STREET IN A MANNER THAT PROVIDES ACCESS TO LOTS 28-40, BLOCK 9 BY UTILIZING THE EASTERN PORTION OF THE ROW IN ORDER TO GAIN ELEVATION.

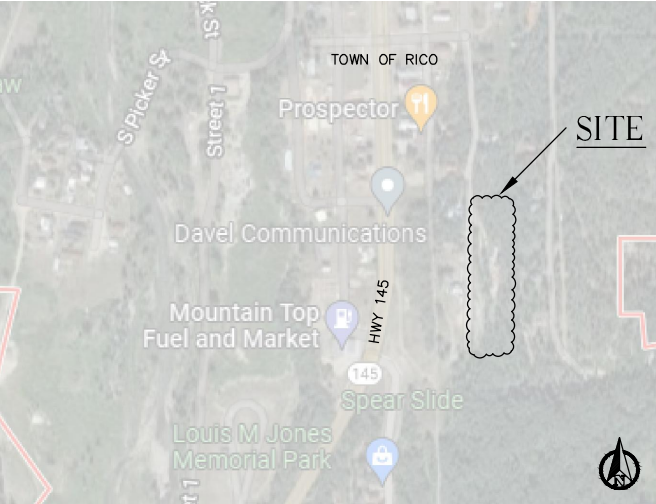
PROPOSED ROAD USE:

CIVIL SHEET INDEX

- COVER SHEET
- SITE MAP AND OVERALL GRADING PLAN
- ACCESS AND ROAD IMPROVEMENT PLAN AND PROFILE
- DRIVEWAY ACCESSES PLANS AND PROFILES
- ROAD IMPROVEMENT SECTIONS
- ROAD IMPROVEMENT SECTIONS
- UTILITY PLAN
- DRAINAGE AND EROSION CONTROL PLAN

VARIANCES FROM RICO LAND
USE CODE SECTION 475 AND
478 ROAD DESIGN STANDARDS

- LUC 475.4 PROPOSED OFF-STREET PARKING PLAN
- JUSTIFICATION: INDIVIDUAL LOT OWNERS WILL PROVIDE OFF-STREET PARKING PLANS IN PROPOSED SITE PLANS. ACCESS TO EACH EXISTING SITE (LOTS) IS PROVIDED IN THIS PLAN.
- LUC 478.3 A. THE IMPROVED ROAD SURFACE SHALL BE A MINIMUM OF 24' IN WIDTH
- JUSTIFICATION: ROAD WIDTH IS OVER 24' IN WIDTH COUNTING BOTH THIS PROPOSED ACCESS AND THE EXISTING ROADWAY, MUCH THE SAME AS UPPER SILVER STREET. THE SPLIT ROADS WILL PROVIDE ACCESS TO LOTS WITH SIGNIFICANT ELEVATION DIFFERENCES ON EITHER SIDE OF THE ROW.
- LUC 478.3 B. ROAD SURFACES SHALL HAVE A MINIMUM 6" CROWN
- JUSTIFICATION: ROAD IS SLOPED ONE DIRECTION INSTEAD OF HAVING A CROWN SINCE THE ROADWAY WIDTH IS SMALLER AND CLOSER TO THAT OF ONE LANE AND TO KEEP THE EXISTING DRAINAGE PATTERNS IN SHEET FLOW AND NOT CONCENTRATED IN ROADSIDE SWALES.
- LUC 478.4 GRADE: THE MAXIMUM GRADE OF ROADS ON CURVES WITH A RADIUS OF LESS THAN 250' SHALL NOT EXCEED 8%
- JUSTIFICATION: EXCESSIVE ELEVATION DIFFERENCES FOR THIS ROADWAY IMPROVEMENT, IT WAS NECESSARY TO CARRY A 10% SLOPE AROUND THE INITIAL CURVE IN ORDER TO GAIN ACCESS TO EXISTING PLATTED LOT ACCESS. LOW TRAFFIC VOLUMES SUGGEST THAT DRIVEWAY STANDARDS ARE SUFFICIENT FOR THIS ROADWAY IMPROVEMENT.



VICINITY MAP

NTS

THESE ROAD IMPROVEMENT PLANS WERE PREPARED BY ME AND UNDER MY DIRECT SUPERVISION ON BEHALF OF ALPINE LAND CONSULTING, LLC FOR THE FLATT FAMILY LLP AND INCLUDES ROAD GRADING, FIRE HYDRANT, DRAINAGE, AND EROSION CONTROL ONLY AND DOES NOT INCLUDE ANY OTHER PLANNING OR ENGINEERING.

THIS PLAN IS FOR
REVIEW ONLY AND
NOT FOR
CONSTRUCTION

THIS PLAN HAS
BEEN REDUCED TO
APPROXIMATELY
HALF SCALE
(11"X17")

GREGORY E. ANDERSON
COLORADO PROFESSIONAL ENGINEER
REGISTRATION NO. 35736

NO.	REVISIONS		DATE
	1	TOWN OF RICO COMMENTS (BUCKHORN ENGINEERING LETTER 5-5-22)	05/31/22

ALPINE LAND
CONSULTING, LLC

P.O. BOX 234
RICO, COLORADO 81332
970-708-0326
GREGG@ALPINELANDCONSULTING.COM

LOT 28-40, BLOCK 9
TOWN OF RICO

COVER SHEET

CLIENT:
FLATT FAMILY LLP
5480 EAST DESERT CREEK LANE
CAVE CREEK, AZ 85331

DATE: APRIL 19, 2022

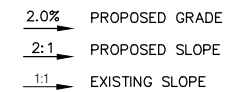
PROJECT #: 2021029

PROJECT MANAGER: GEA
DRAWN BY: ADM


SHEET #: 1 OF 8



LEGEND



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LOT 28-40 BLOCK 9
TOWN OF RICO

SITE MAP AND OVERALL GRADING PLAN

CLIENT:

FLATT FAMILY LLP
5480 EAST DESERT CREEK LANE
CAVE CREEK, AZ 85331

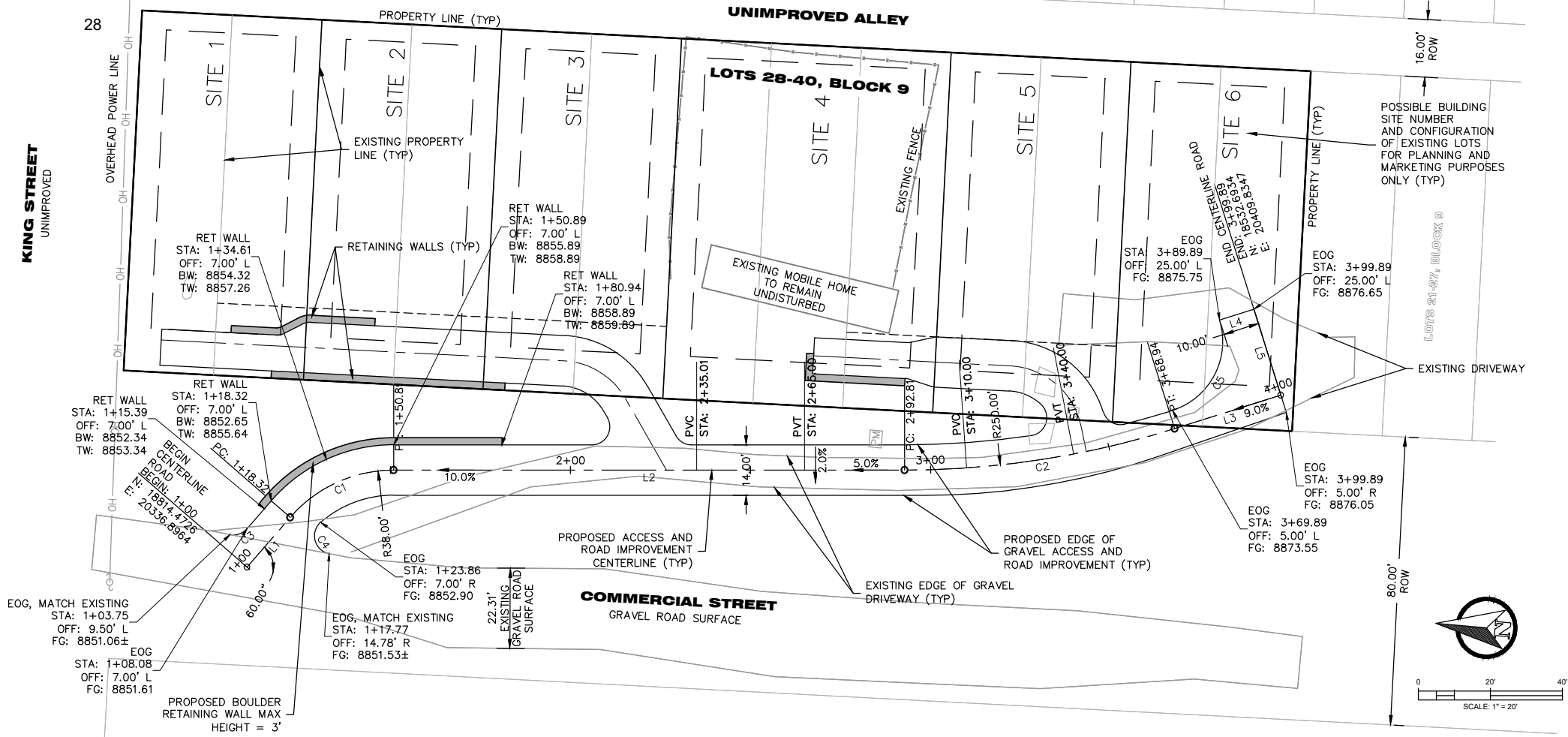
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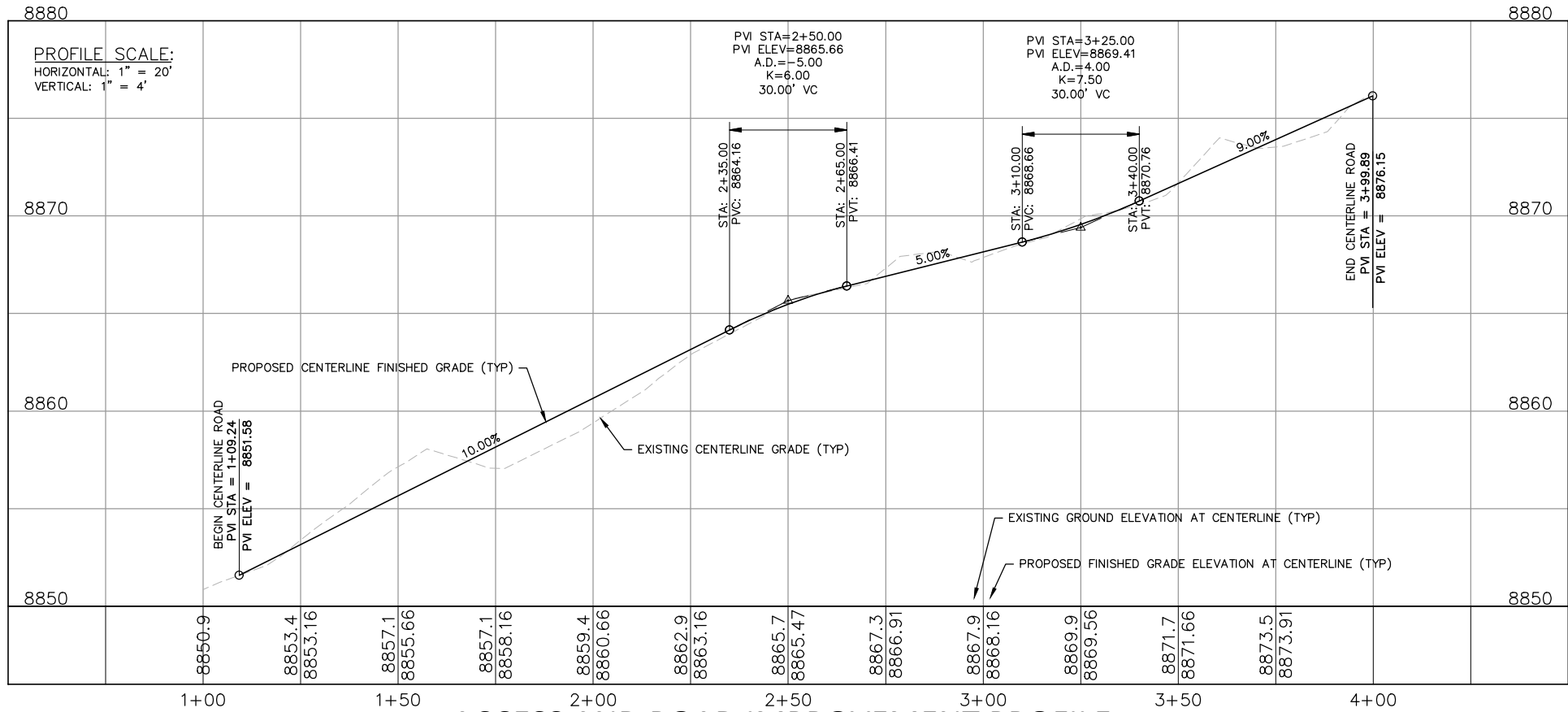
PROJECT MANAGER:	GEA
DRAWN BY:	ADM

SHEET #: 1

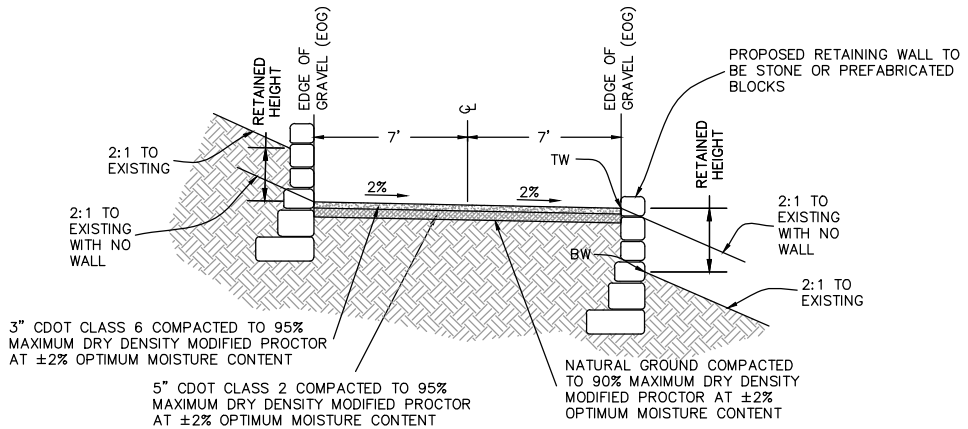
2 OF 8



ACCESS AND ROAD IMPROVEMENT PLAN



ACCESS AND ROAD IMPROVEMENT PROFILE



ACCESS AND ROAD IMPROVEMENTS SECTION

LINE TABLE			
TAG	LENGTH	DIRECTION	DESCRIPTION
L1	18.32'	N54°10'25"W	CENTERLINE
L2	141.89'	N05°03'57"W	CENTERLINE
L3	30.92'	N22°31'34"W	CENTERLINE
L4	10.00'	N22°31'34"W	EOG
L5	30.00'	N67°28'26"E	EOG

CURVE TABLE						
TAG	LENGTH	RADIUS	DELTA	CHORD-BRG	CHORD-LEN	DESCRIPTION
C1	32.57'	38.00'	49°06'28"	N29° 37' 11"W	31.58	CENTERLINE
C2	76.18'	250.00'	17°27'37"	N13° 47' 45"W	75.89	CENTERLINE
C3	5.24'	5.00'	60°00'00"	N24° 10' 25"W	5.00	EOG
C4	11.20'	5.00'	128°20'47"	S69° 59' 58"W	9.00	EOG
C5	31.42'	20.00'	90°00'00"	N67° 31' 34"W	28.28	EOG

NOTES

- SEE NOTES ON SHEET 1.
- ALL EXISTING TOPOGRAPHIC AND BOUNDARY INFORMATION PROVIDED BY ALL POINTS LAND SURVEY LLC. SEE NOTE 12 ON SHEET 1.
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- RETAINED HEIGHT FOR RETAINING WALLS IS MEASURED FROM FINISHED GRADE TO FINISHED GRADE AND DOES NOT INCLUDE ANY CAPS OR FOUNDATIONS (SEE DRIVEWAY SECTIONS).

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CALL UTILITY NOTIFICATION CENTER OF COLORADO
1-800-922-1987
OR
811
CALL 2-BUSINESS DAYS IN ADVANCE BEFORE YOU DIG, GRADE, OR EXCAVATE FOR THE MARKING OF UNDERGROUND MEMBER UTILITIES.

LEGEND

- 2.0% PROPOSED GRADE
- 2:1 PROPOSED SLOPE
- 1:1 EXISTING SLOPE
- BW= BOTTOM OF WALL ELEVATION
- EOG= EDGE OF GRAVEL
- FG= FINISHED GRADE
- TW= TOP OF WALL ELEVATION

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LOT 28-40 BLOCK 9
TOWN OF RICO

ACCESS AND ROAD IMPROVEMENT PLAN AND PROFILE

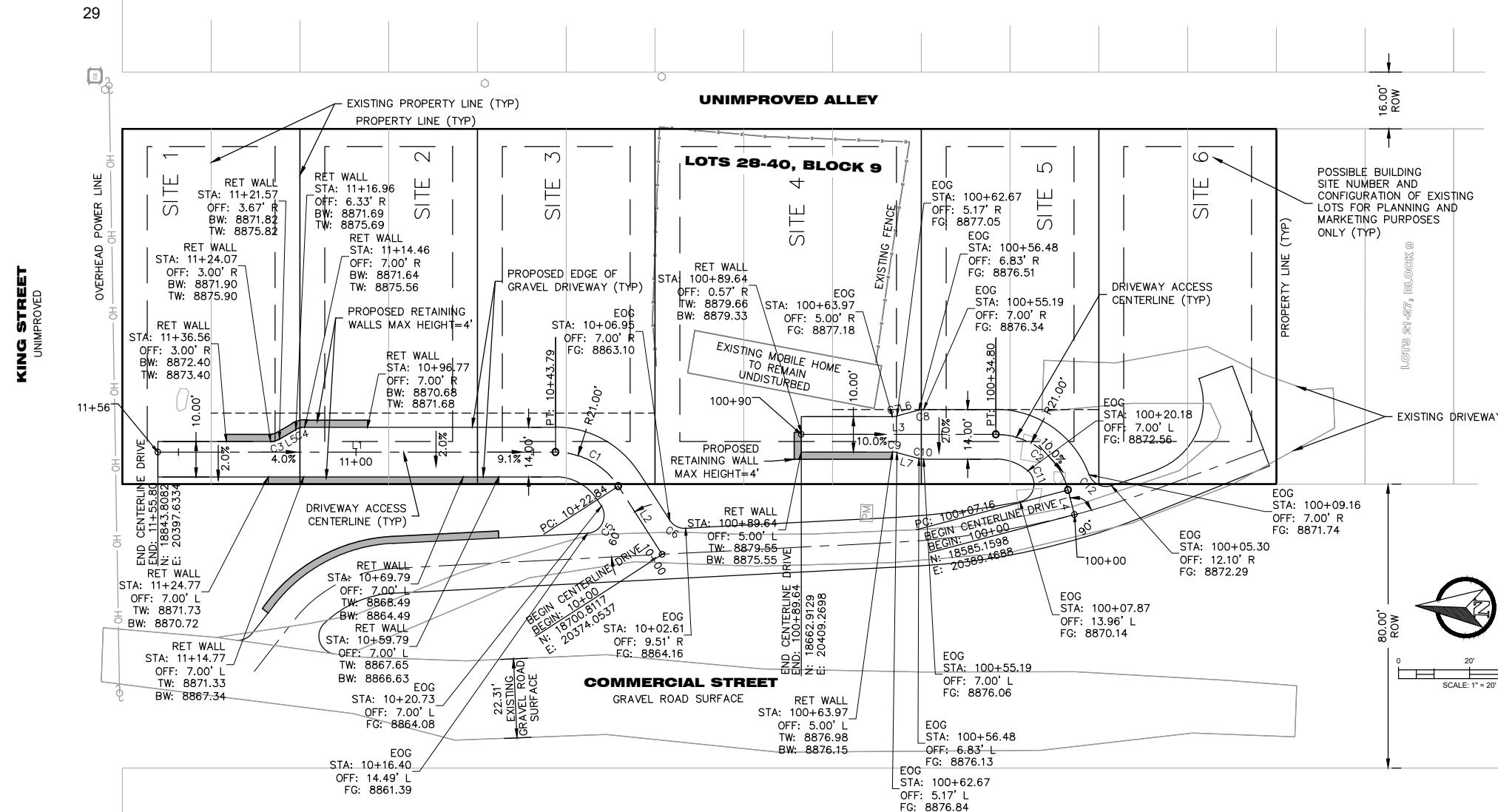
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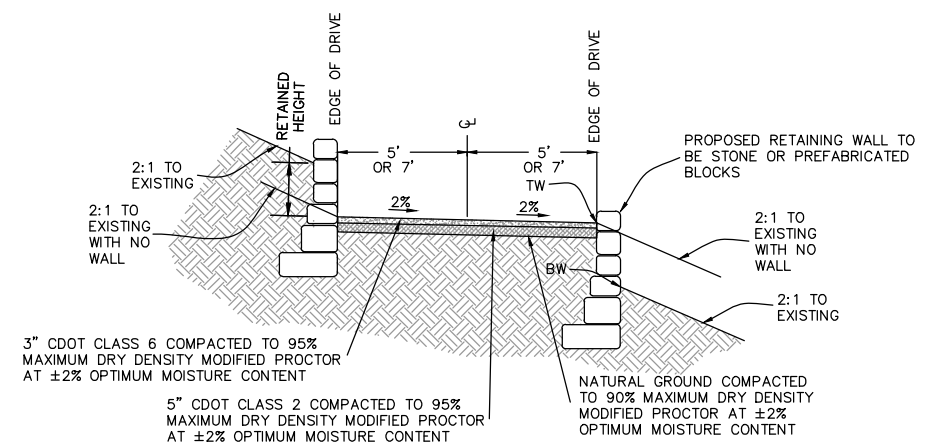
PROJECT #: 2021029

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SHEET #: 3 OF 8



DRIVEWAY ACCESSES PLAN



DRIVEWAY ACCESSSES SECTION

LINE TABLE			
TAG	LENGTH	DIRECTION	DESCRIPTION
L1	112.01'	S02°06'00"E	CENTERLINE
L2	22.84'	S55°03'36"W	CENTERLINE
L3	54.85'	N02°06'00"W	CENTERLINE
L4	7.16'	N73°17'33"E	CENTERLINE
L5	5.32'	S32°06'00"E	EOG
L6	6.41'	S17°06'00"E	EOG
L7	6.41'	S12°54'00"W	EOG

CURVE TABLE						
TAG	LENGTH	RADIUS	DELTA	CHORD—BRG	CHORD—LEN	DESCRIPTION
C1	20.95'	21.00'	57°09'36"	S26° 28' 48"W	20.09	CENTERLINE
C2	27.63'	21.00'	75°23'33"	N35° 35' 47"E	25.68	CENTERLINE
C3	2.62'	5.00'	30°00'00"	S17° 06' 00"E	2.59	EOG
C4	2.62'	5.00'	30°00'00"	S17° 06' 00"E	2.59	EOG
C5	10.46'	5.00'	119°52'27"	N65° 00' 11"W	8.65	EOG
C6	5.25'	5.00'	60°07'33"	N24° 59' 49"E	5.01	EOG
C7	1.31'	5.00'	15°00'00"	S09° 36' 00"E	1.31	EOG
C8	1.31'	5.00'	15°00'00"	S09° 36' 00"E	1.31	EOG
C9	1.31'	5.00'	15°00'00"	S05° 24' 00"W	1.31	EOG
C10	1.31'	5.00'	15°00'00"	S05° 24' 00"W	1.31	EOG
C11	11.24'	5.00'	128°48'45"	N77° 49' 12"W	9.02	EOG
C12	7.63'	5.00'	87°23'27"	N24° 09' 27"E	6.91	EOG

NOTES

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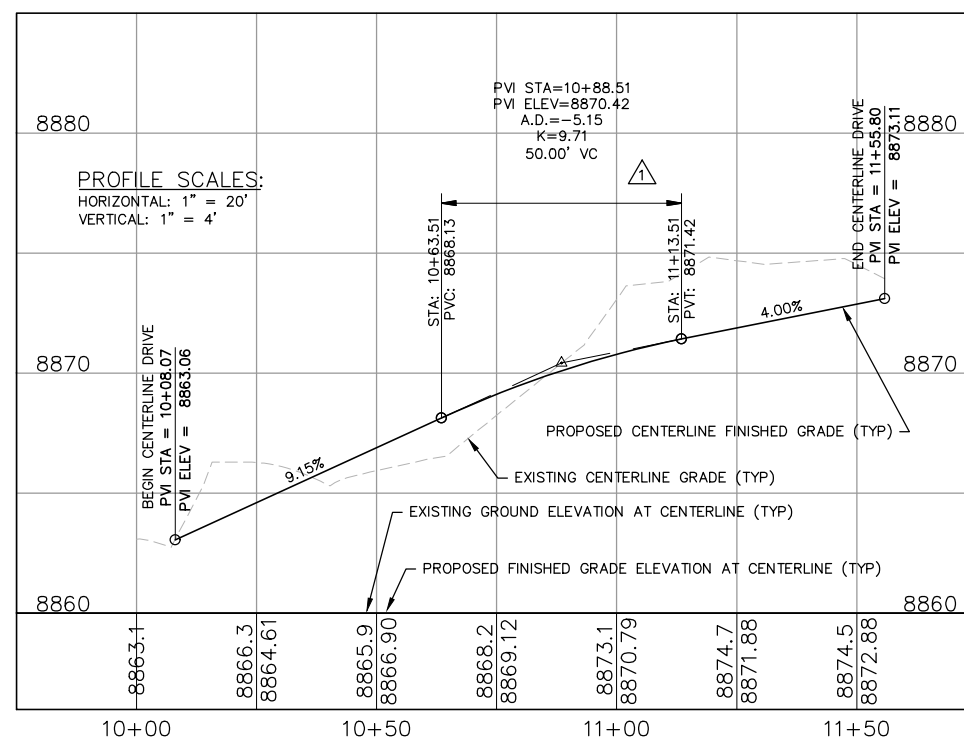
LEGEND

- | | |
|---------------|--------------------------|
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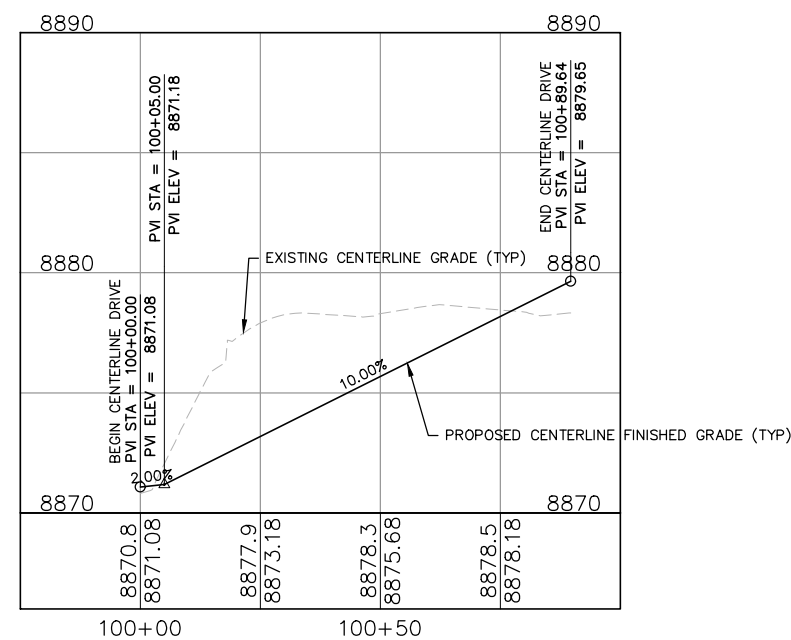
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DRIVEWAY ACCESSSES PROFILE



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DRIVEWAY ACCESSES PLAN AND PROFILE

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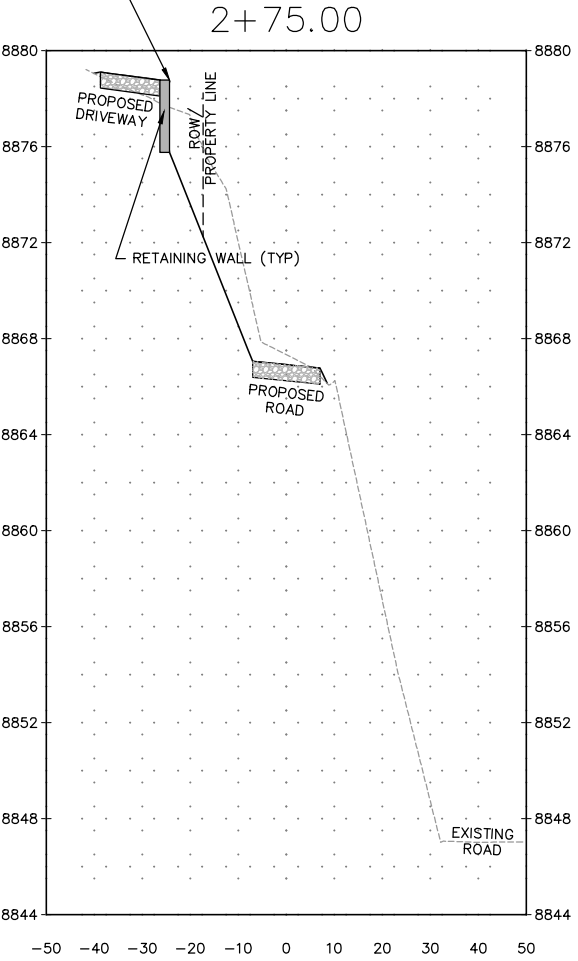
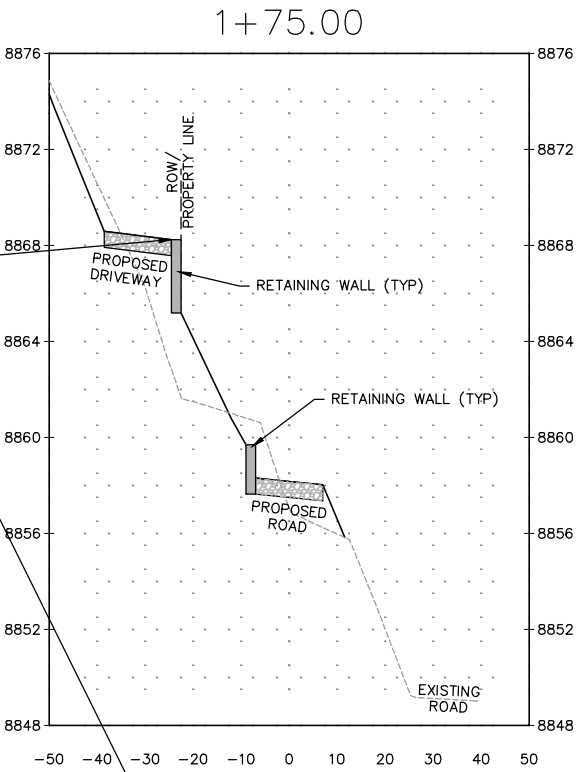
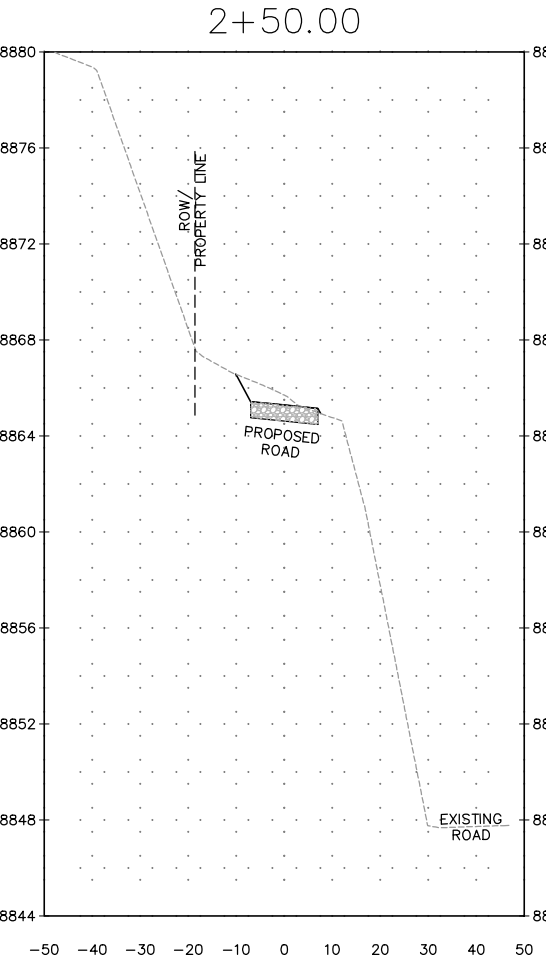
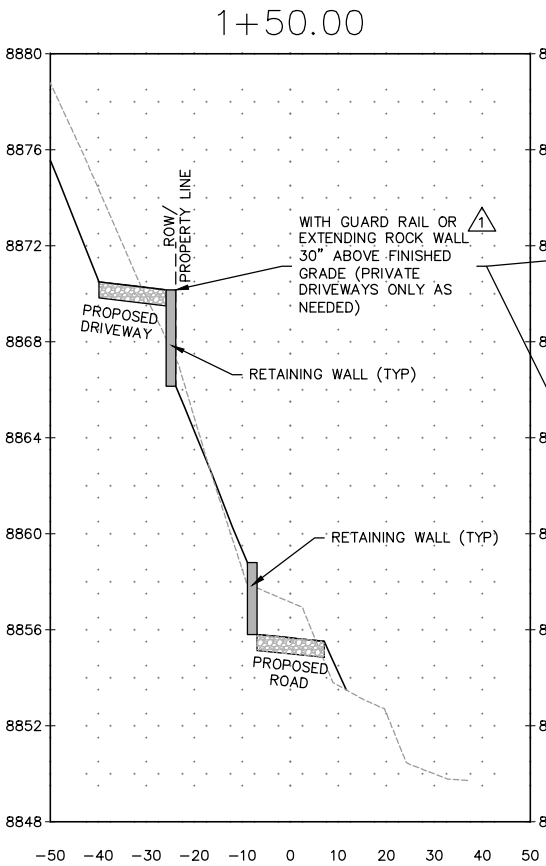
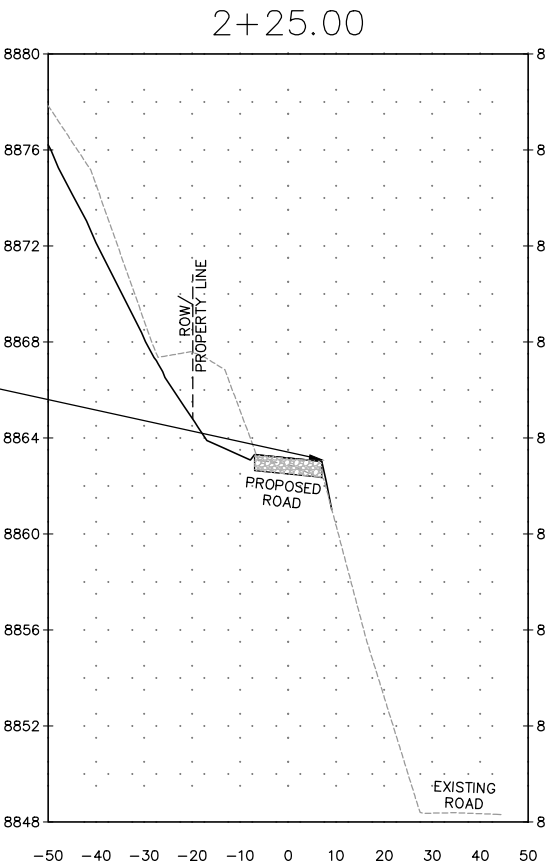
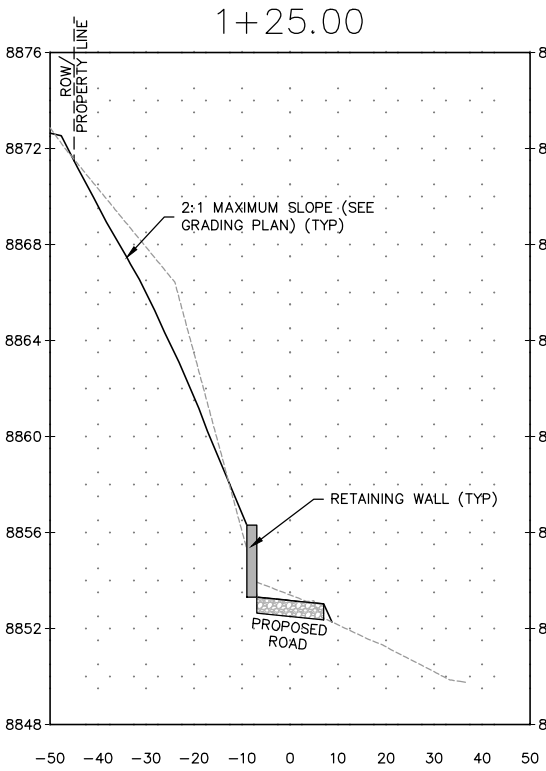
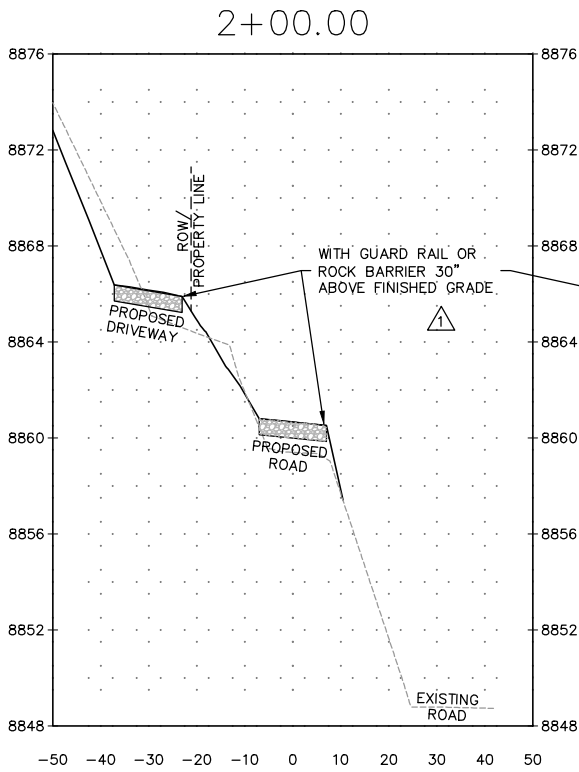
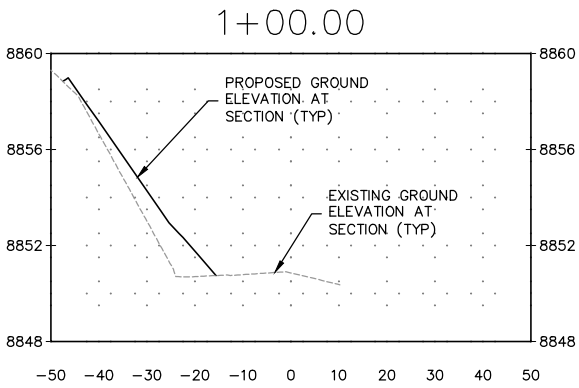
PROJECT MANAGER: C

DRAWN BY: _____

SHEET #: 

4 OF 8

SECTION 30 CALES:
HORIZONTAL: 1" = 20'
VERTICAL: 1" = 4'



NOTES

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CALL UTILITY NOTIFICATION
CENTER OF COLORADO
1-800-922-1987
OR
811
CALL 2-BUSINESS DAYS IN ADVANCE
BEFORE YOU DIG, GRADE, OR
EXCAVATE FOR THE MARKING OF
UNDERGROUND MEMBER UTILITIES.

THESE ROAD IMPROVEMENT PLANS WERE PREPARED
BY ME AND UNDER MY DIRECT SUPERVISION ON
BEHALF OF ALPINE LAND CONSULTING, LLC FOR
THE FLATT FAMILY LLP AND INCLUDES ROAD
GRADING, FIRE HYDRANT, DRAINAGE, AND EROSION
CONTROL ONLY AND DOES NOT INCLUDE ANY
OTHER PLANNING OR ENGINEERING.

**THIS PLAN HAS
BEEN REDUCED TO
APPROXIMATELY
HALF SCALE
(11"X17")**

GREGORY E. ANDERSON
COLORADO PROFESSIONAL ENGINEER
REGISTRATION NO. 35736



ALPINE LAND
CONSULTING, LLC

P.O. BOX 234
RICO, COLORADO 81332
970-708-0326
GREGG@ALPINELANDCONSULTING.COM

LOT 28-40 BLOCK 9
TOWN OF RICO

ROAD SECTIONS

CLIENT:

FLATT FAMILY LLP
5480 EAST DESERT CREEK LANE
CAVE CREEK, AZ 85331

DATE: APRIL 19, 2022

PROJECT #: 2021029

PROJECT MANAGER: GEA
DRAWN BY: ADM

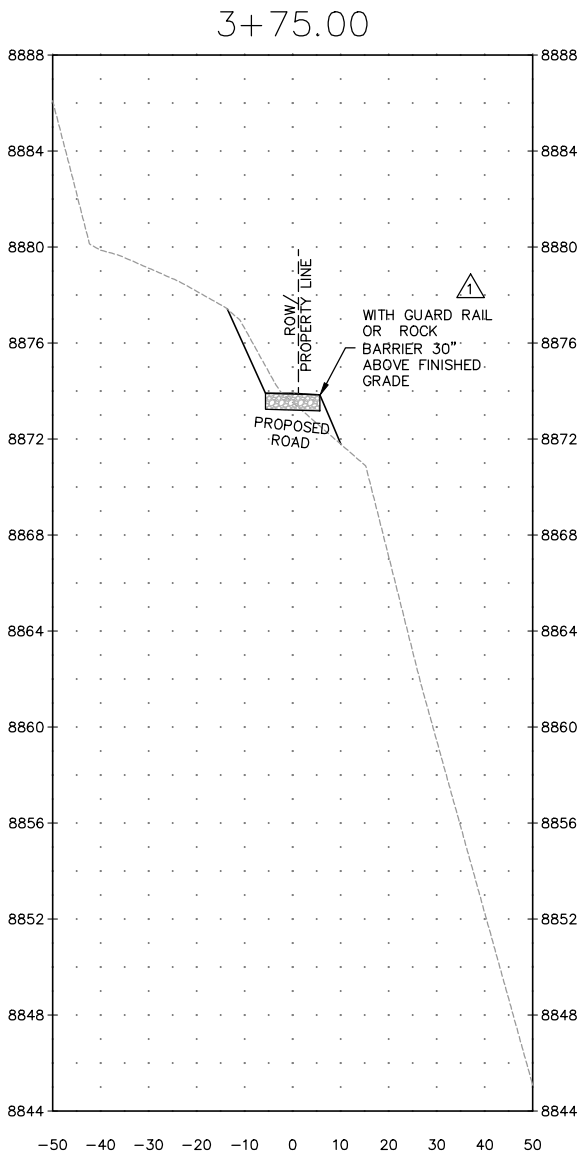
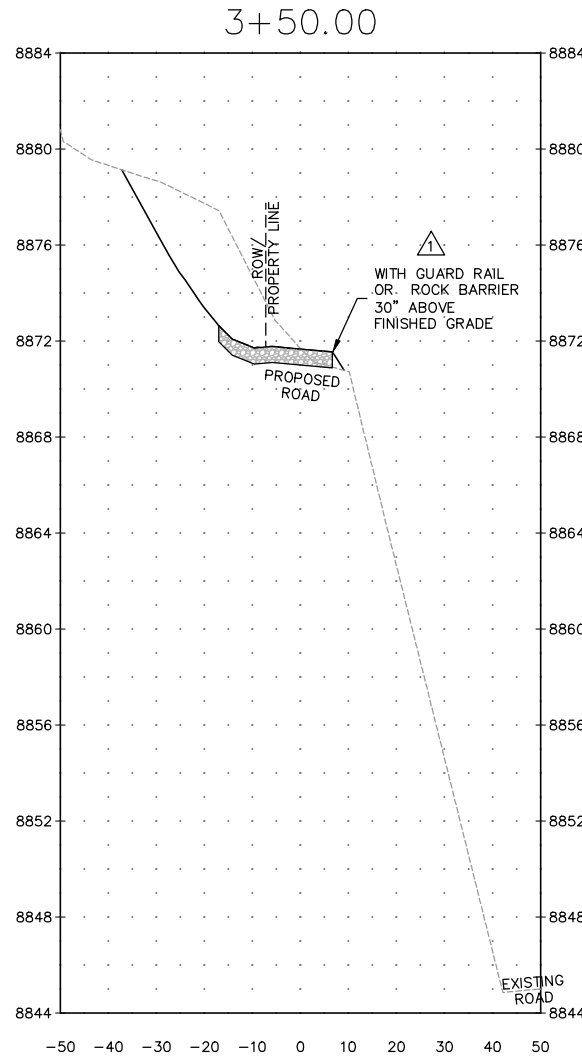
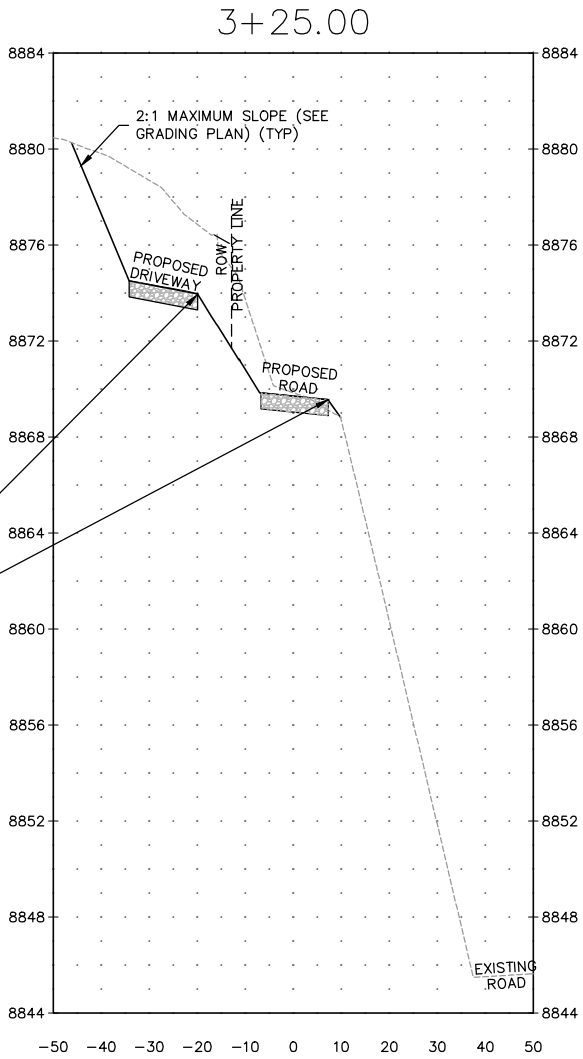
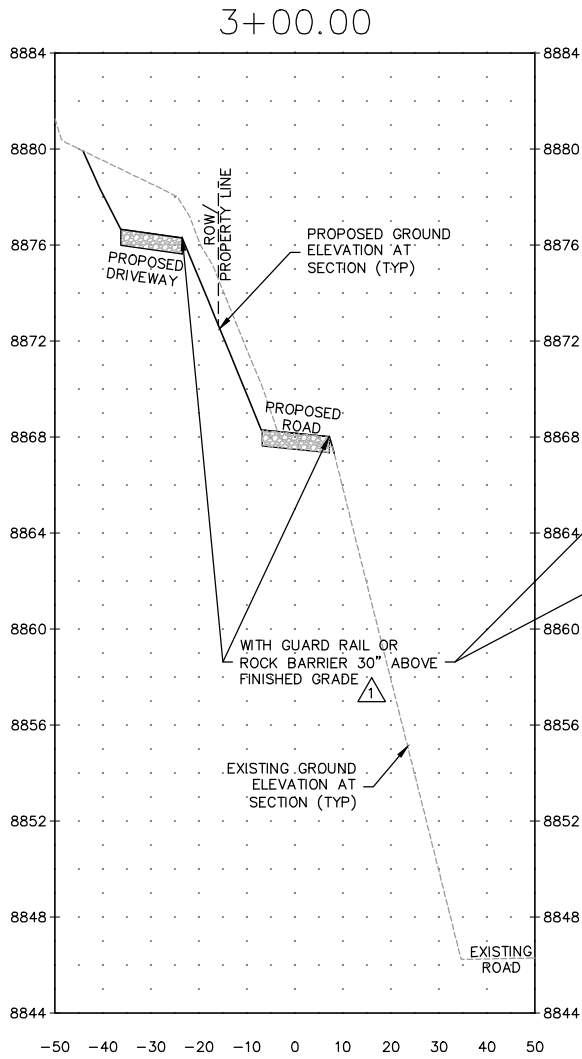
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5 OF 8

ROAD SECTIONS

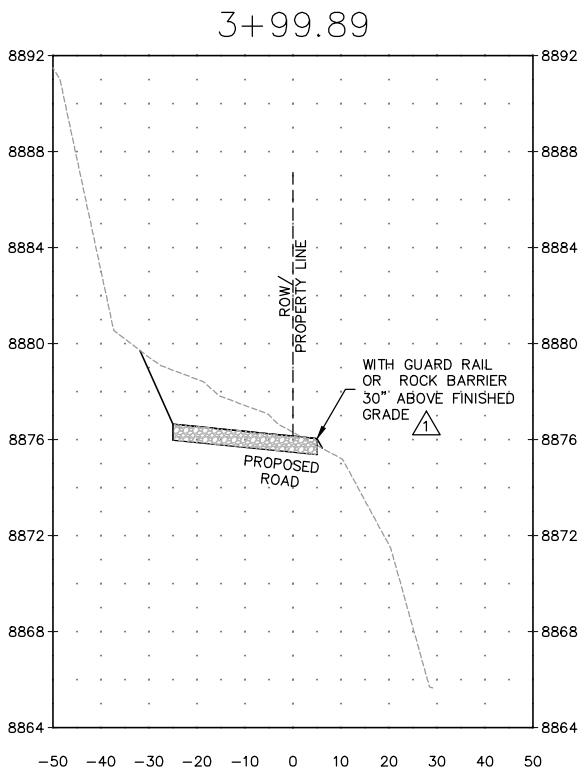
NO.	REVISIONS	DATE
1	TOWN OF RICO COMMENTS (BUCKHORN ENGINEERING LETTER 5-5-22)	05/31/22

SECTION 31
SCALES:
HORIZONTAL: 1" = 20'
VERTICAL: 1" = 4'



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ROAD SECTIONS

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CONSULTING, LLC

P.O. BOX 234
RICO, COLORADO 81332
970-708-0326
GREGG@ALPINELANDCONSULTING.COM

LOT 28-40 BLOCK 9
TOWN OF RICO

ROAD SECTIONS

CLIENT:

FLATT FAMILY LLP
5480 EAST DESERT CREEK LANE
CAVE CREEK, AZ 85331

DATE: APRIL 19, 2022

PROJECT #: 2021029

PROJECT MANAGER: GEA
DRAWN BY: ADM

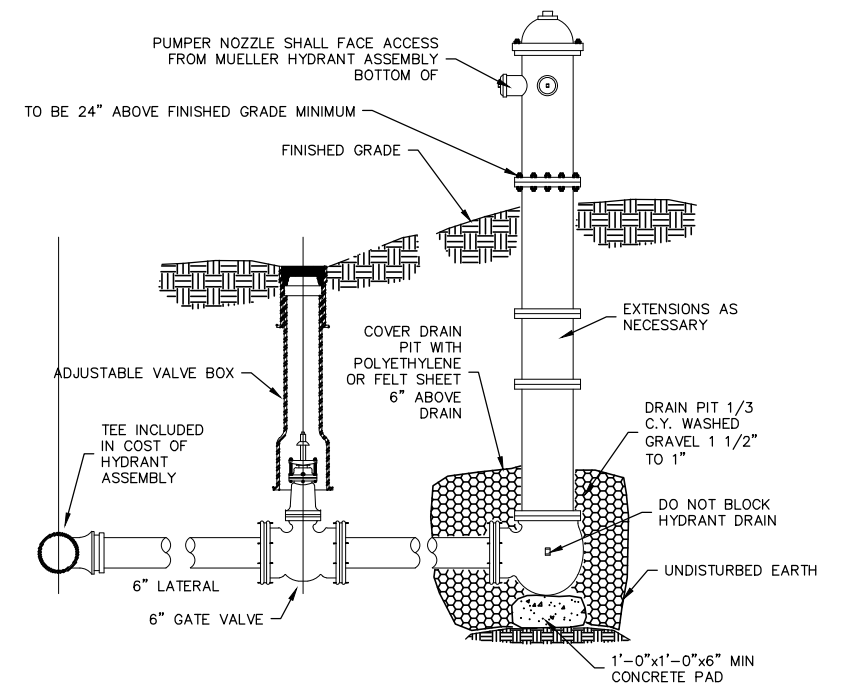
SHEET #:

6 OF 8

NO.	REVISIONS	DATE
1	TOWN OF RICO COMMENTS (BUCKHORN ENGINEERING LETTER 5-5-22)	05/31/22

LEGEND

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FIRE HYDRANT ASSEMBLY

NTS

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LOT 28-40 BLOCK 9
TOWN OF RICO

UTILITY PLAN

CLIENT:

FLATT FAMILY LLP
5480 EAST DESERT CREEK LANE
CAVE CREEK, AZ 85331

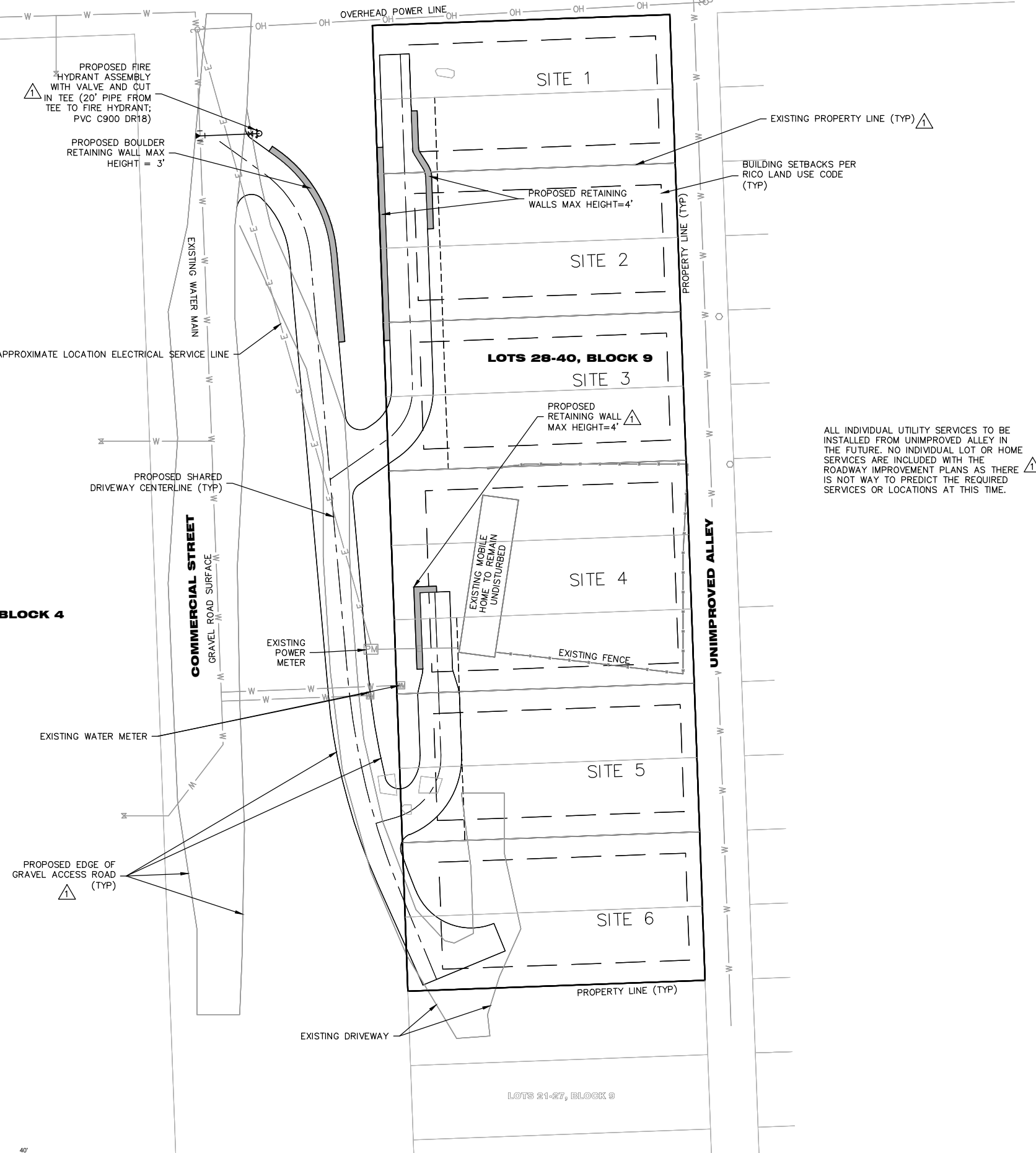
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PROJECT #: 2021029

PROJECT MANAGER: GEA
DRAWN BY: ADM

SHEET #:

7 OF 8



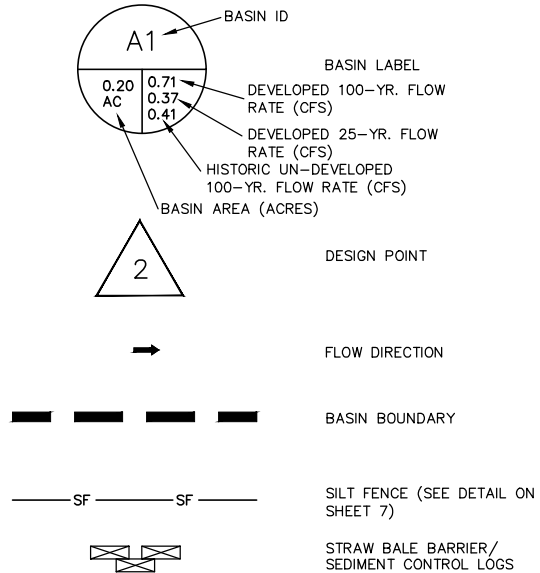
UTILITY PLAN



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5. CONTRACTOR MAY MODIFY EROSION CONTROL WITH TOWN OR RICO APPROVAL. EROSION CONTROL TO REMAIN IN PLACE UNTIL GRASS IS ESTABLISHED ON DISTURBED FINISH GRADE AROUND THE PROPOSED ROAD AND DRIVEWAY IMPROVEMENTS.

LEGEND



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LOT 28-40 BLOCK 9
TOWN OF RICO

DRAINAGE AND EROSION
CONTROL PLAN

CLIENT:

FLATT FAMILY LLP
5480 EAST DESERT CREEK LANE
CAVE CREEK, AZ 85331

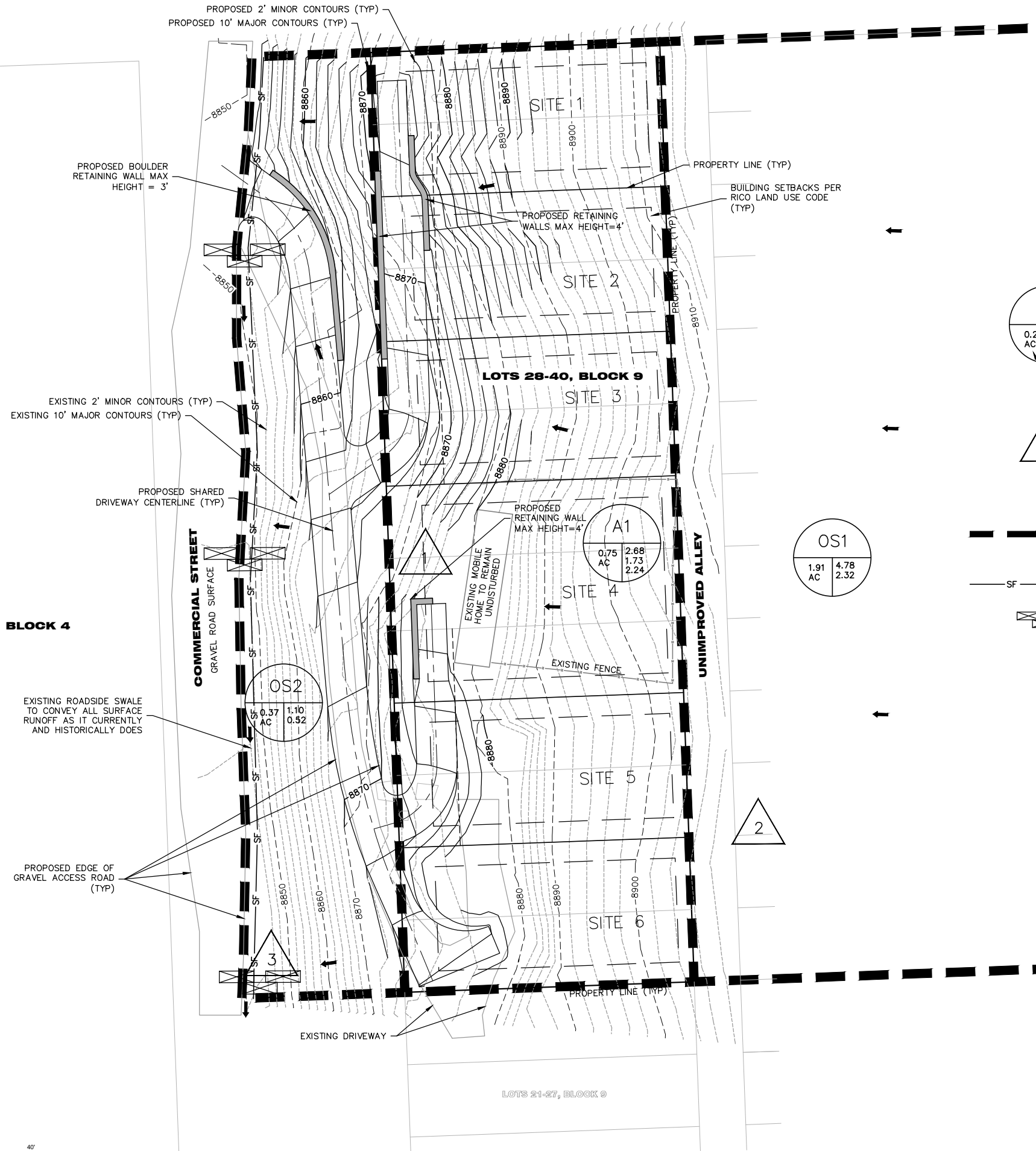
DATE: APRIL 19, 2022

PROJECT #: 2021029

PROJECT MANAGER: GEA
DRAWN BY: GEA

SHEET #:

8 OF 8



DRAINAGE AND EROSION CONTROL PLAN

CIVIL CONSTRUCTION DOCUMENTS
ROAD IMPROVEMENT PLANS
LOTS 28-40, BLOCK 9
TOWN OF RICO, DOLORES COUNTY, COLORADO

GENERAL NOTES:

1. ALL CONSTRUCTION TO BE COMPLETED PER THE STANDARDS OF THE TOWN OF RICO LAND USE CODE (SEE SECTIONS 470, 474, 478, 490, 492, 494, AND 496).
2. AT LEAST TWO (2) FULL WORKING DAYS PRIOR TO COMMENCING CONSTRUCTION THE CONTRACTOR SHALL CONTACT THE UTILITY NOTIFICATION CENTER OF COLORADO AT 1-800-922-1987 OR 811 TO OBTAIN AN INQUIRY IDENTIFICATION NUMBER AND TO REQUEST THE UTILITY OWNERS TO MARK OR OTHERWISE INDICATE THE LOCATION AND DEPTH OF ALL UNDERGROUND UTILITIES, INCLUDING SERVICE CONNECTIONS, WHICH MAY BE AFFECTED BY ITS OPERATIONS. THE CONTRACTOR SHALL TAKE ALL NECESSARY MEASURES TO PROTECT ALL UTILITIES AND ALL STRUCTURES FOUND AT THE SITE.
3. CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION OF ALL EXISTING UTILITIES, INCLUDING ANY UTILITIES NOT SHOWN ON THE DRAWINGS WHEN WORKING NEAR EXISTING UTILITIES. THE CONTRACTOR SHALL EXERCISE SUFFICIENT CARE TO PREVENT DAMAGE TO THE LINES IN THE EVENT THAT THE INFORMATION SHOWN ON THE DRAWINGS DOES NOT REFLECT ACTUAL FIELD CONDITIONS.
4. IF ANY OF THE EXISTING UTILITIES AND SERVICES ARE IN CONFLICT WITH THE CONSTRUCTION PLANS THE CONTRACTOR SHALL NOTIFY AND WORK WITH THE ENGINEER AND ARCHITECT TO FIND A SOLUTION BEFORE THE START OF ANY CONSTRUCTION ACTIVITIES.
5. ALL MATERIALS AND CONSTRUCTION SHALL BE IN CONFORMANCE WITH TOWN OF RICO LAND USE CODE, THE TOWN OF RICO LATEST REVISION JUNE 15, 2011.
6. ALL TRENCHES SHALL BE ADEQUATELY SUPPORTED AND THE SAFETY OF WORKERS PROVIDED FOR AS REQUIRED BY THE MOST RECENT OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) "SAFETY AND HEALTH REGULATIONS FOR CONSTRUCTION." THESE REGULATIONS ARE DESCRIBED IN SUBPART P, PART 1926 OF THE CODE OF FEDERAL REGULATIONS. SHEETING AND SHORING SHALL BE UTILIZED WHERE NECESSARY TO PREVENT ANY EXCESSIVE WIDENING OR SLOUGHING OF THE TRENCH WHICH MAY BE DETRIMENTAL TO HUMAN SAFETY, TO THE PIPE BEING PLACED, TO TREES OR TO ANY EXISTING STRUCTURE WHERE EXCAVATIONS ARE MADE UNDER SEVERE WATER CONDITIONS. THE CONTRACTOR MAY BE REQUIRED TO USE AN APPROVED PILING INSTEAD OF SHEETING AND SHORING.
7. THE CONTRACTOR SHALL HAVE ONE SIGNED COPY OF THE PLANS APPROVED BY THE TOWN OF RICO AND ONE COPY OF THE APPROPRIATE DESIGN AND CONSTRUCTION STANDARDS AND SPECIFICATIONS ON THE JOB SITE AT ALL TIMES.
8. CONTRACTOR AND/OR OWNER TO OBTAIN ALL NECESSARY PERMITS AND APPROVAL BEFORE THE START OF ANY CONSTRUCTION ACTIVITIES.
9. IF CUMULATIVE AREA OF DISTURBANCE EQUALS OR EXCEEDS ONE (1) ACRE, ON-SITE EROSION CONTROL SHALL BE PLANNED AND EXECUTED IN CONFORMANCE WITH THE COLORADO DEPARTMENT OF PUBLIC HEALTH AND ENVIRONMENT, WATER QUALITY CONTROL DIVISION, STORM WATER DISCHARGE REGULATIONS.
10. THE CONTRACTOR IS RESPONSIBLE FOR IMPLEMENTING AND MAINTAINING EROSION AND SEDIMENT CONTROL MEASURES AT ALL TIMES DURING CONSTRUCTION. THE PLAN MAY BE MODIFIED WITH APPROPRIATE APPROVALS FROM THE TOWN OF RICO AND THE ENGINEER AS FIELD CONDITIONS WARRANT.
11. THE CONTRACTOR SHALL PROVIDE, ERECT AND MAINTAIN PROPER TRAFFIC CONTROL DEVICES UNTIL THE SITE IS OPEN TO TRAFFIC. THE CONTRACTOR SHALL PROVIDE A TRAFFIC CONTROL PLAN TO THE ENGINEER BEFORE THE START OF ANY CONSTRUCTION.
12. BENCHMARK: FOUND ALUMINUM CAP AT THE CENTERLINE INTERSECTION OF GLASGOW AVE AND KING STREET WITH AN ELEVATION OF 8772.26' ON TOPOGRAPHIC MAP OF LOTS 28-40, BLOCK 9, THE TOWN OF RICO, DOLORES COUNTY, COLORADO DATED 09/18/2020 BY ALL POINTS LAND SURVEY. CONTACT TOM CLARK AT (970) 708-9694 FOR MORE BENCHMARK INFORMATION.
13. REPAIR OF ANY DAMAGE TO EXISTING IMPROVEMENTS OR LANDSCAPING IS THE RESPONSIBILITY OF THE CONTRACTOR.
14. CONTRACTOR MUST AWARE OF ALL TREES TO REMAIN PER THE DESIGN REVIEW BOARD APPROVAL PROCESS AND PROTECT THOSE TREES DURING CONSTRUCTION.
15. ALL CONSTRUCTION ACTIVITIES MUST COMPLY WITH THE STATE OF COLORADO PERMITTING PROCESS FOR "STORMWATER DISCHARGES ASSOCIATED WITH CONSTRUCTION ACTIVITY." FOR INFORMATION, PLEASE CONTACT COLORADO DEPARTMENT OF HEALTH, WATER QUALITY CONTROL DIVISION, WOOD-PE-B2, 4300 CHERRY DRIVE SOUTH, DENVER, COLORADO 80222-1530. ATTENTION: PERMITS AND ENFORCEMENT SECTION. PHONE (303) 692-3500.

GENERAL NOTES CONT.:

16. PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION, THE CONTRACTOR SHALL CONTACT ALL UTILITY PROVIDERS TO COORDINATE SCHEDULES.
17. CONTRACTOR SHALL NOTIFY ALL RESIDENTS IN WRITING 24 HOURS PRIOR TO ANY SHUT-OFF IN SERVICE. THE NOTICES MUST HAVE CONTRACTOR'S PHONE NUMBER AND NAME OF CONTACT PERSON, AND EMERGENCY PHONE NUMBER FOR AFTER HOURS CALLS. ALL SHUT-OFF'S MUST BE APPROVED BY THE TOWN, AND TOWN VALVES AND APPURTENANCES SHALL BE OPERATED BY TOWN PERSONNEL, UNLESS WRITTEN PERMISSION IS GIVEN OTHERWISE.
18. CONTRACTOR SHALL REGULARLY PATROL THE PUBLIC LANDS ADJACENT TO THE DEVELOPMENT TO REMOVE CONSTRUCTION DEBRIS AND KEEP CLEAN AND SAFE.
19. ALL FILL MUST BE COMPACTED TO 90% MODIFIED PROCTOR AT PLUS OR MINUS 2% OF THE OPTIMUM MOISTURE CONTENT OR AS REQUIRED IN THE GEOTECHNICAL ENGINEER'S FINAL SOILS REPORT.
20. NATURAL VEGETATION SHALL BE RETAINED AND PROTECTED WHEREVER POSSIBLE. EXPOSURE OF SOIL TO EROSION BY REMOVAL OR DISTURBANCE OF VEGETATION SHALL BE LIMITED TO THE AREA REQUIRED FOR IMMEDIATE CONSTRUCTION OPERATION AND FOR THE SHORTEST PRACTICAL PERIOD OF TIME.
21. UNSUITABLE MATERIAL SHALL BE REMOVED AS REQUIRED BY THE SOILS ENGINEER FROM ALL AREAS TO RECEIVE COMPACTED FILL OR DRAINAGE STRUCTURES. ALL MATERIALS SUCH AS LUMBER, LOGS, BRUSH, PETE OR ANY OTHER ORGANIC MATERIALS OR RUBBISH SHALL BE REMOVED FROM ALL AREAS TO RECEIVE COMPACTED FILL.
22. NO MATERIAL SHALL BE COMPACTED WHEN FROZEN
23. TOPSOIL SHALL BE STOCKPILED TO THE EXTENT PRACTICABLE ON THE SITE FOR USE ON AREAS TO BE REVEGETATED. ANY AND ALL STOCKPILES SHALL BE LOCATED AND PROTECTED FROM EROSION ELEMENTS.
24. AT ALL TIMES, THE PROPERTY SHALL BE MAINTAINED AND/OR WATERED TO PREVENT WIND-CAUSED EROSION. EARTHWORK OPERATIONS SHALL BE DISCONTINUED WHEN FUGITIVE DUST SIGNIFICANTLY IMPACTS ADJACENT PROPERTY. IF EARTHWORK IS COMPLETE OR DISCONTINUED AND DUST FROM THE SITE CONTINUES TO CREATE PROBLEMS, THE CONTRACTOR SHALL IMMEDIATELY INSTITUTE MITIGATIVE MEASURES AND SHALL CORRECT DAMAGE TO ADJACENT PROPERTY.
25. NATIVE MATERIAL AND/OR TOPSOIL STOCKPILED MUST HAVE SEPARATE SILT FENCE AROUND STOCKPILE AND BE VEGETATED WITH NATIVE SEED MIX AS APPROVED BY TOWN OF RICO IF THE STOCKPILE IS TO REMAIN FOR 90 DAYS OR LONGER.
26. WATER CAN BE USED AS A DUST PALLIATIVE.
27. THE CONTRACTOR SHALL PROVIDE ANY ADDITIONAL DUST ABATEMENT AND EROSION CONTROL MEASURES DEEMED NECESSARY BY THE TOWN, SHOULD CONDITIONS MERIT THEM.

GENERAL WATERLINE NOTES:

28. ALL WATERLINE MATERIALS AND CONSTRUCTION SHALL BE IN CONFORMANCE WITH "EXHIBIT A WATER OPERATIONS RULES AND REGULATIONS TOWN OF RICO" ADOPTED NOVEMBER 20, 2019. IF CIVIL CONSTRUCTION PLANS CONFLICT WITH ABOVE STATED DOCUMENT, THE ABOVE STATED DOCUMENT SHALL GOVERN AND THE CIVIL ENGINEER SHALL BE CONTACTED IMMEDIATELY.
29. NOTIFY TOWN OF RICO AT LEAST 24 HOURS IN ADVANCE OF PIPE BEING LAID IN ANY TRENCH.
30. NO PIPES SHALL BE COVERED, OR BACKFILL, UNTIL OBSERVED BY A TOWN OF RICO INSPECTOR.
31. ALL FLUSHING AND DISINFECTING SHALL BE DONE IN ACCORDANCE WITH "EXHIBIT A WATER OPERATIONS RULES AND REGULATIONS TOWN OF RICO".
32. MINIMUM COVER OVER WATER MAINS SHALL BE SIX FEET (6') ABOVE TOP OF PIPE.
33. ALL WATERLINE MAINS TO BE 25' FROM ANY EXISTING ONSITE WASTEWATER TREATMENT SYSTEM AREA SOIL TREATMENT AREA (OWTS STA OR COMMONLY CALLED SEPTIC FIELD) OR MUST BE ENCASED.
34. ALL MAIN LINES MUST HAVE A LOCATE WIRE INSTALLED AT THE DEPTH OF THE PIPE AND BROUGHT UP ON ALL VALVES AND FIRE PLUGS.
35. A WARNING RIBBON MUST BE INSTALLED BETWEEN 1 AND 2 FEET ABOVE PIPE.
36. ALL WATER MAINS SHALL BE PVC C900.

GRADING AND EROSION CONTROL NOTES CONT.:

37. FIRE HYDRANT ASSEMBLY INCLUDES THE FIRE HYDRANT, VALVE AND TEE. INSTALLATION SHALL BE IN ACCORDANCE WITH MANUFACTURERS RECOMMENDATIONS AND BE A WATEROUS HYDRANT.
38. INSTALL THRUST BLOCKS AT ALL BENDS, STUBS AND TEES IN WATER LINES.
39. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ADJUST ALL WATER VALVE BOXES TO THE REQUIRED FINAL GRADE.
40. CONTRACTOR TO COORDINATE WITH THE TOWN OF RICO FOR SHUT OFF OF WATER SERVICE AS REQUIRED FOR CONSTRUCTION. IF SERVICE CANNOT BE INTERRUPTED THEN A WET TAPS CAN BE USED INSTEAD OF CUT IN TEES, BUT ALL CROSSES MUST BE CUT IN.
41. ALL WATER LINES MUST BE INSTALLED AT A DEPTH OF SIX (6) FEET MINIMUM.
42. ALL FIRE HYDRANTS TO BE MUELLER FIRE HYDRANT ASSEMBLIES INCLUDING SHUT OFF VALVE AND INSTALLED TEE AT MAIN.
43. THE WATER PIPE LINE SHALL BE 6" PVC C900 DR18 PIPE FROM MAIN TO FIRE HYDRANT.

DRY UTILITY NOTES:

44. ALL DRY UTILITIES (ELECTRIC, TELEPHONE, CABLE, GAS, ETC.) DESIGNS TO BE COORDINATED AND COMPLETED BY PROVIDER.
45. THE LOCATIONS AND ALIGNMENTS SHOWN IN THESE PLANS ARE APPROXIMATE AND SHALL BE COORDINATED WITH PROVIDERS BEFORE THE START OF UTILITY CONSTRUCTION.
46. IF ANY PIPES USES, ALL PIPES SHALL HAVE CLASS "B" BEDDING UNLESS OTHERWISE SHOWN. BEDDING MATERIAL SHALL CONFORM TO ASTM C-33 OR D-448, GRADATION NO. 67.
47. ANY CULVERTS SHALL BE 16 GAUGE CORRUGATED STEEL PIPE WITH 2-2/3" X 1/2" CORRUGATION.

PROPOSED ROAD USE:

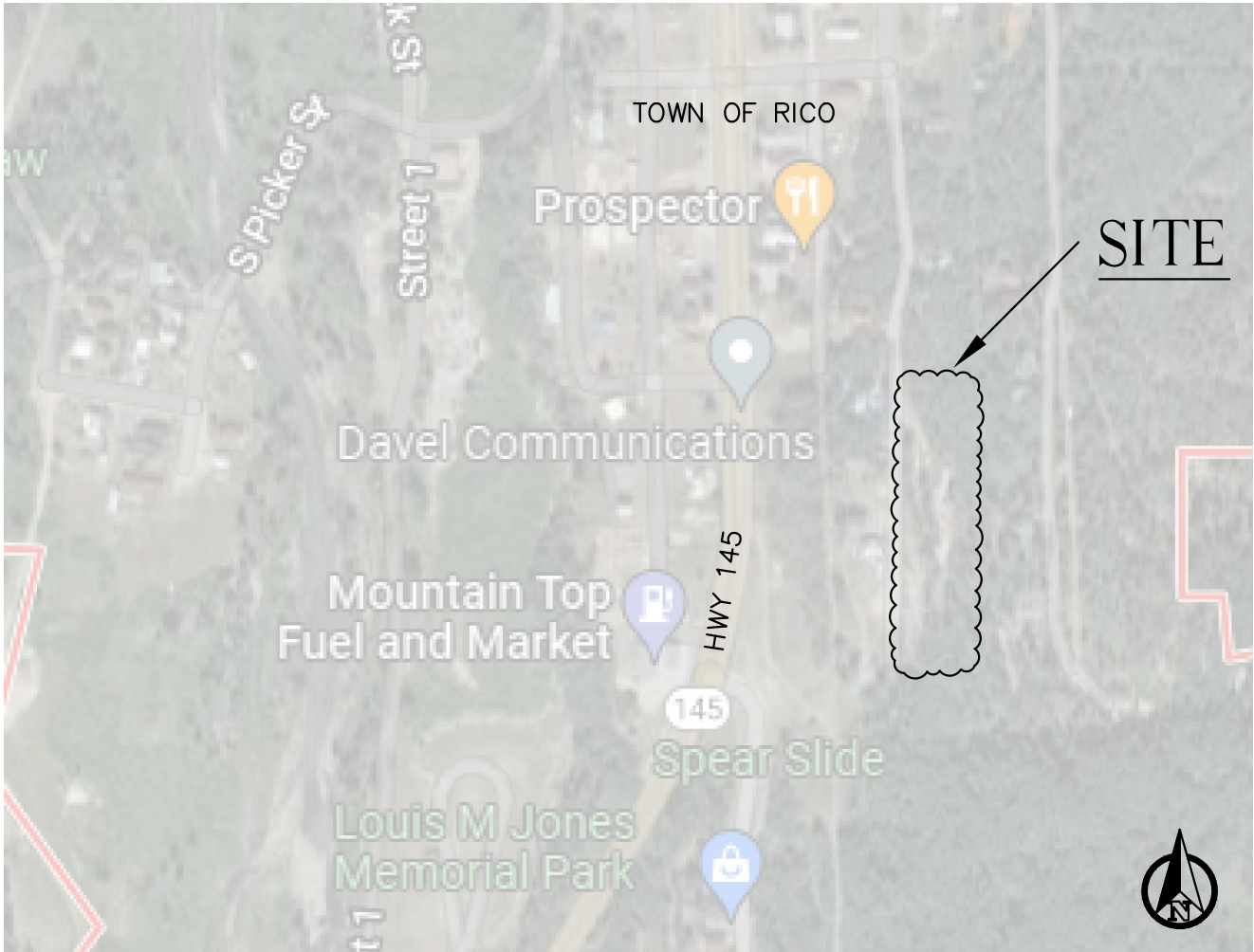
48. EXISTING COMMERCIAL STREET IS LOCATED ON THE WEST SIDE OF THE RIGHT-OF-WAY (ROW) AND IS APPROXIMATELY 24'-32' BELOW THE ELEVATION AT THE BOTTOM OF LOTS 28-40, BLOCK 9. IT PROVIDES ACCESS TO LOTS 1-13, BLOCK 4. THE PURPOSE OF THIS ROAD IMPROVEMENT PLAN IS TO EXPAND AND EXTEND COMMERCIAL STREET IN A MANNER THAT PROVIDES ACCESS TO LOTS 28-40, BLOCK 9 BY UTILIZING THE EASTERN PORTION OF THE ROW IN ORDER TO GAIN ELEVATION.

CIVIL SHEET INDEX

1. COVER SHEET
2. SITE MAP AND OVERALL GRADING PLAN
3. ACCESS AND ROAD IMPROVEMENT PLAN AND PROFILE
4. DRIVEWAY ACCESSES PLANS AND PROFILES
5. ROAD IMPROVEMENT SECTIONS
6. ROAD IMPROVEMENT SECTIONS
7. UTILITY PLAN
8. DRAINAGE AND EROSION CONTROL PLAN

VARIANCES FROM RICO LAND
USE CODE SECTION 475 AND
478 ROAD DESIGN STANDARDS

- LUC 475.4 PROPOSED OFF-STREET PARKING PLAN
- JUSTIFICATION: INDIVIDUAL LOT OWNERS WILL PROVIDE OFF-STREET PARKING PLANS IN PROPOSED SITE PLANS. ACCESS TO EACH EXISTING SITE (LOTS) IS PROVIDED IN THIS PLAN.
- LUC 478.3 A. THE IMPROVED ROAD SURFACE SHALL BE A MINIMUM OF 24' IN WIDTH
- JUSTIFICATION: ROAD WIDTH IS OVER 24' IN WIDTH COUNTING BOTH THIS PROPOSED ACCESS AND THE EXISTING ROADWAY, MUCH THE SAME AS UPPER SILVER STREET. THE SPLIT ROADS WILL PROVIDE ACCESS TO LOTS WITH SIGNIFICANT ELEVATION DIFFERENCES ON EITHER SIDE OF THE ROW.
- LUC 478.3 B. ROAD SURFACES SHALL HAVE A MINIMUM 6" CROWN
- JUSTIFICATION: ROAD IS SLOPED ONE DIRECTION INSTEAD OF HAVING A CROWN SINCE THE ROADWAY WIDTH IS SMALLER AND CLOSER TO THAT OF ONE LANE AND TO KEEP THE EXISTING DRAINAGE PATTERNS IN SHEET FLOW AND NOT CONCENTRATED IN ROADSIDE SWALES.
- LUC 478.4 GRADE: THE MAXIMUM GRADE OF ROADS ON CURVES WITH A RADIUS OF LESS THAN 250' SHALL NOT EXCEED 8%
- JUSTIFICATION: EXCESSIVE ELEVATION DIFFERENCES FOR THIS ROADWAY IMPROVEMENT, IT WAS NECESSARY TO CARRY A 10% SLOPE AROUND THE INITIAL CURVE IN ORDER TO GAIN ACCESS TO EXISTING PLATTED LOT ACCESS. LOW TRAFFIC VOLUMES SUGGEST THAT DRIVEWAY STANDARDS ARE SUFFICIENT FOR THIS ROADWAY IMPROVEMENT.



VICINITY MAP

NTS

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REGISTRATION NO. 35736

NO.	REVISIONS	DATE
1	TOWN OF RICO COMMENTS (BUCKHORN ENGINEERING LETTER 5-5-22)	05/31/22

ALPINE LAND
CONSULTING, LLC
P.O. BOX 234
RICO, COLORADO 81332
970-708-0322
GREGG@ALPINELANDCONSULTING.COM

LOT 28-40, BLOCK 9
TOWN OF RICO

COVER SHEET

CLIENT:

FLATT FAMILY LLP
5480 EAST DESERT CREEK LANE
CAVE CREEK, AZ 85331

DATE: APRIL 19, 2022

PROJECT #: 2021029

PROJECT MANAGER: GEA
DRAWN BY: ADM

SHEET #: 1 OF 8

AREA IN PUBLIC RIGHT OF WAY TO BE REPLANTED WITH NATIVE MOUNTAIN GRASSES INCLUDING STRAW AND NETTING AT 100 LBS OF SEED PER ACRE AND 6 REPLANTED ASPEN FROM THE EXISTING SITE

EXISTING SLOPE

PROPOSED BOULDER RETAINING WALL MAX HEIGHT = 3'

SNOW STORAGE AREAS (TYP)

22.31' EXISTING GRAVEL ROAD SURFACE

PROPOSED SHARED DRIVEWAY CENTERLINE (TYP)

COMMERCIAL STREET
GRAVEL ROAD SURFACE

LOTS 1-13, BLOCK 4

PROPOSED EDGE OF GRAVEL ACCESS (TYP)

LIMITS OF DISTURBANCE/
EXTENT OF WORK

EXISTING DRIVEWAY

80.00' ROW

LOTS 21-27, BLOCK 9

PROPOSED MAJOR 10' CONTOURS (TYP)
PROPOSED MINOR 2' CONTOURS (TYP)

ALL REGRADED AREAS OF PRIVATE PROPERTY TO BE REPLANTED WITH NATIVE MOUNTAIN GRASSES INCLUDING STRAW AND NETTING AT 100 LBS PER ACRE

EXISTING PROPERTY LINE (TYP)

BUILDING SETBACKS PER RICO LAND USE CODE (TYP)

POSSIBLE FUTURE COMMON DRIVEWAY EASEMENT (20') (TYP)

EXISTING MAJOR 10' CONTOURS (TYP)

EXISTING MINOR 2' CONTOURS (TYP)

UNIMPROVED ALLEY

POSSIBLE BUILDING SITE NUMBER AND CONFIGURATION OF EXISTING LOTS FOR PLANNING AND MARKETING PURPOSES ONLY (TYPICAL).

NOTES

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LEGEND

- 2.0% PROPOSED GRADE
2:1 PROPOSED SLOPE
1:1 EXISTING SLOPE

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EXCAVATE FOR THE MARKING OF
UNDERGROUND MEMBER UTILITIES.

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GREGORY E. ANDERSON
COLORADO PROFESSIONAL ENGINEER
REGISTRATION NO. 35736

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LOT 28-40 BLOCK 9
TOWN OF RICO
SITE MAP AND OVERALL
GRADING PLAN

CLIENT:

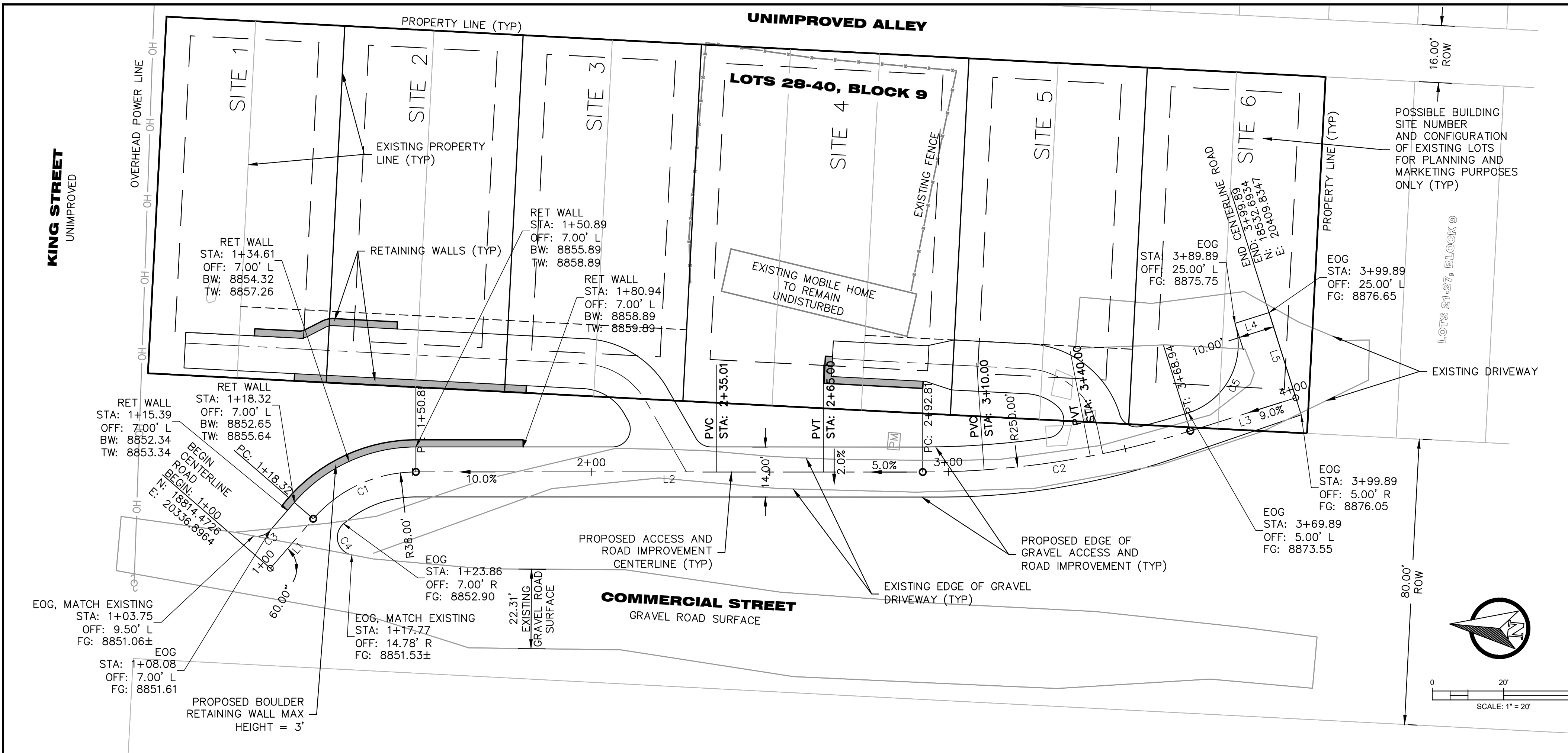
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DATE: APRIL 19, 2022

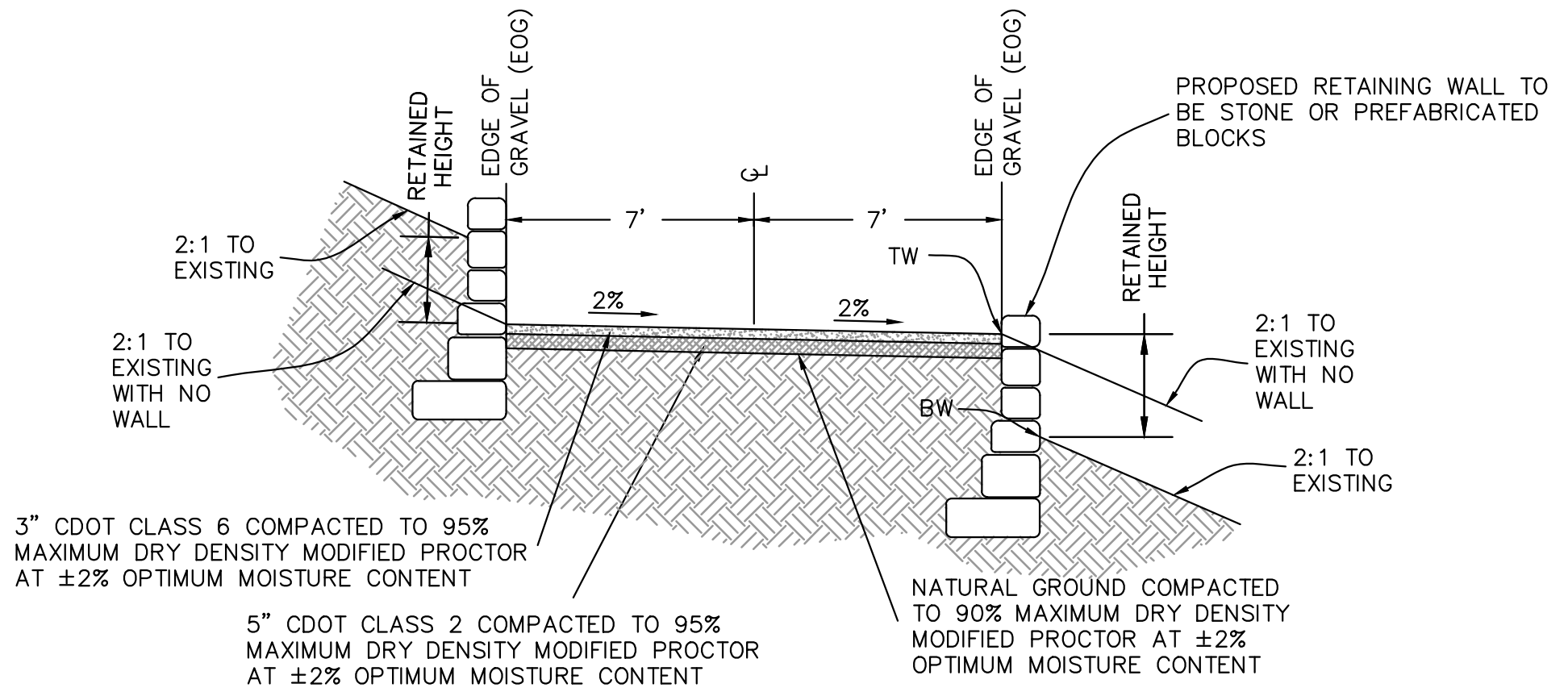
PROJECT #: 2021029

PROJECT MANAGER: GEA
DRAWN BY: ADM

SHEET #: 2 OF 8



ACCESS AND ROAD IMPROVEMENT PLAN



ACCESS AND ROAD IMPROVEMENTS SECTION

LINE TABLE			
TAG	LENGTH	DIRECTION	DESCRIPTION
L1	18.32'	N54°10'25"W	CENTERLINE
L2	141.89'	N05°03'57"W	CENTERLINE
L3	30.92'	N22°31'34"W	CENTERLINE
L4	10.00'	N22°31'34"W	EOG
L5	30.00'	N67°28'26"E	EOG

CURVE TABLE						
TAG	LENGTH	RADIUS	DELTA	CHORD-BRG	CHORD-LEN	DESCRIPTION
C1	32.57'	38.00'	49°06'28"	N29° 37' 11"W	31.58	CENTERLINE
C2	76.18'	250.00'	17°27'37"	N13° 47' 45"W	75.89	CENTERLINE
C3	5.24'	5.00'	60°00'00"	N24° 10' 25"W	5.00	EOG
C4	11.20'	5.00'	128°20'47"	S69° 59' 58"W	9.00	EOG
C5	31.42'	20.00'	90°00'00"	N67° 31' 34"W	28.28	EOG

NOTES

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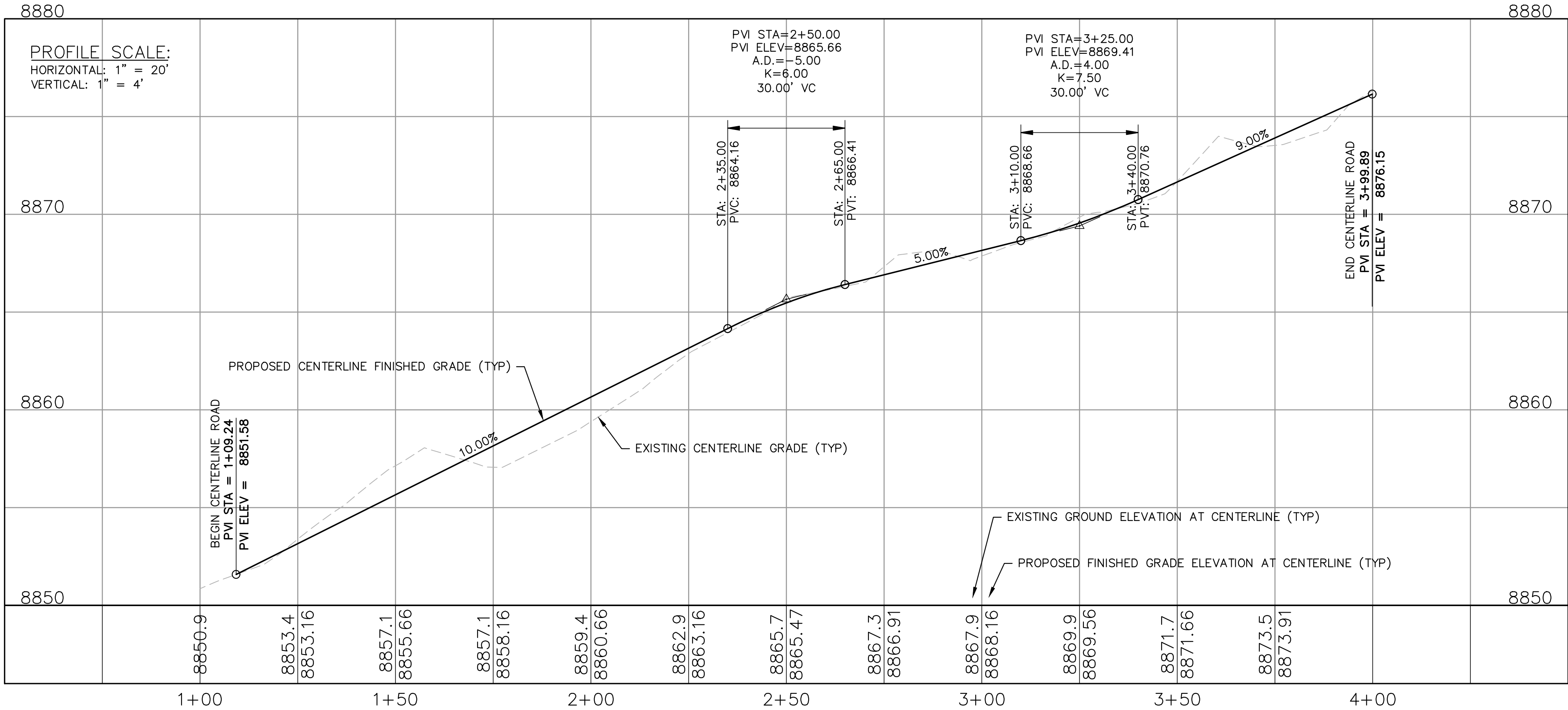
LEGEND

- 2.0% PROPOSED GRADE
- 2:1 PROPOSED SLOPE
- 1:1 EXISTING SLOPE
- BW= BOTTOM OF WALL ELEVATION
- EOG= EDGE OF GRAVEL
- FG= FINISHED GRADE
- TW= TOP OF WALL ELEVATION

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GREGORY E. ANDERSON
COLORADO PROFESSIONAL ENGINEER
REGISTRATION NO. 35736



ACCESS AND ROAD IMPROVEMENT PROFILE

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970-708-0326
GREGG@ALPINELANDCONSULTING.COM

LOT 28-40 BLOCK 9
TOWN OF RICO

ACCESS AND ROAD
IMPROVEMENT PLAN AND
PROFILE

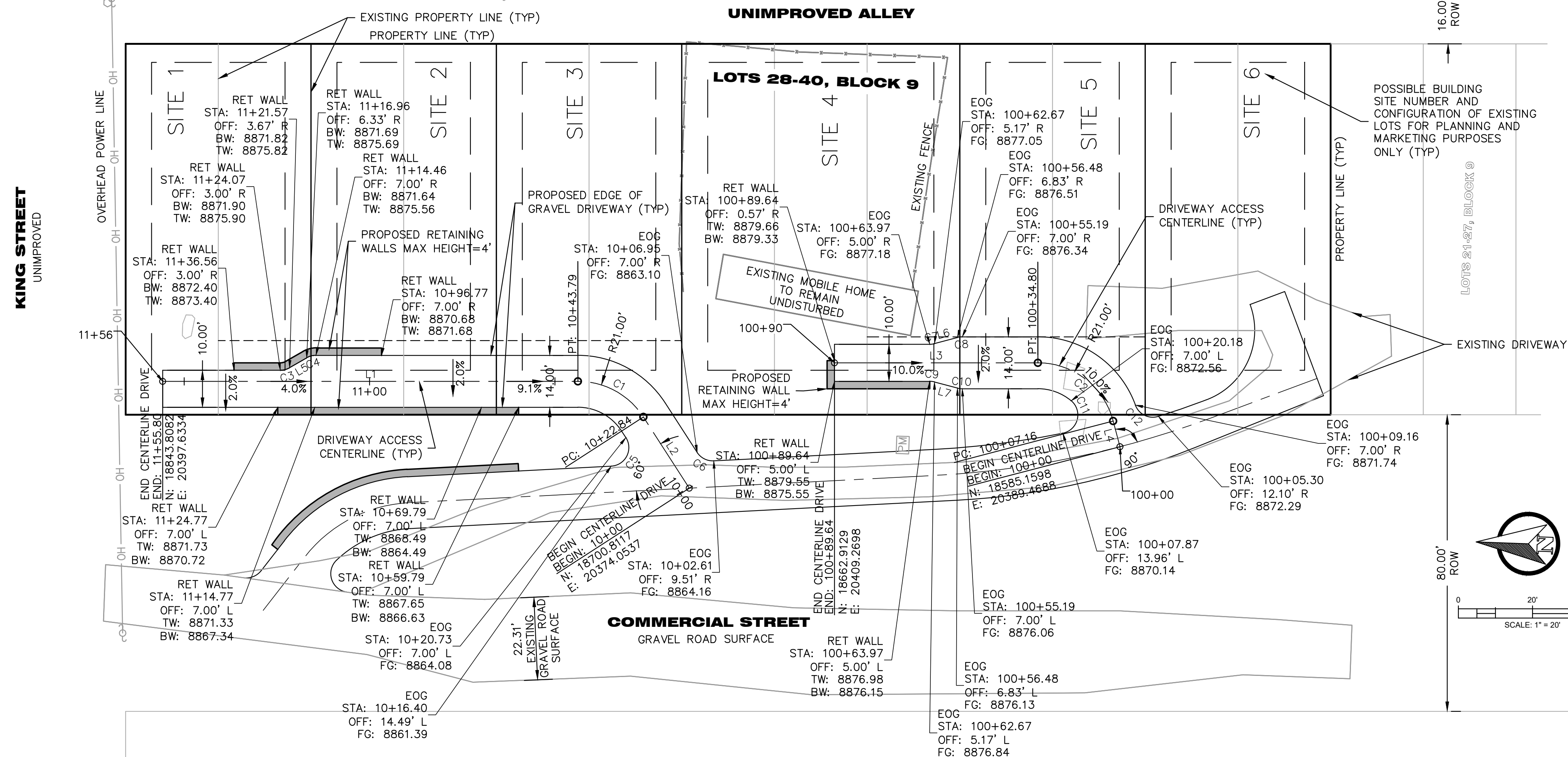
CLIENT:
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CAVE CREEK, AZ 85331

DATE: APRIL 19, 2022

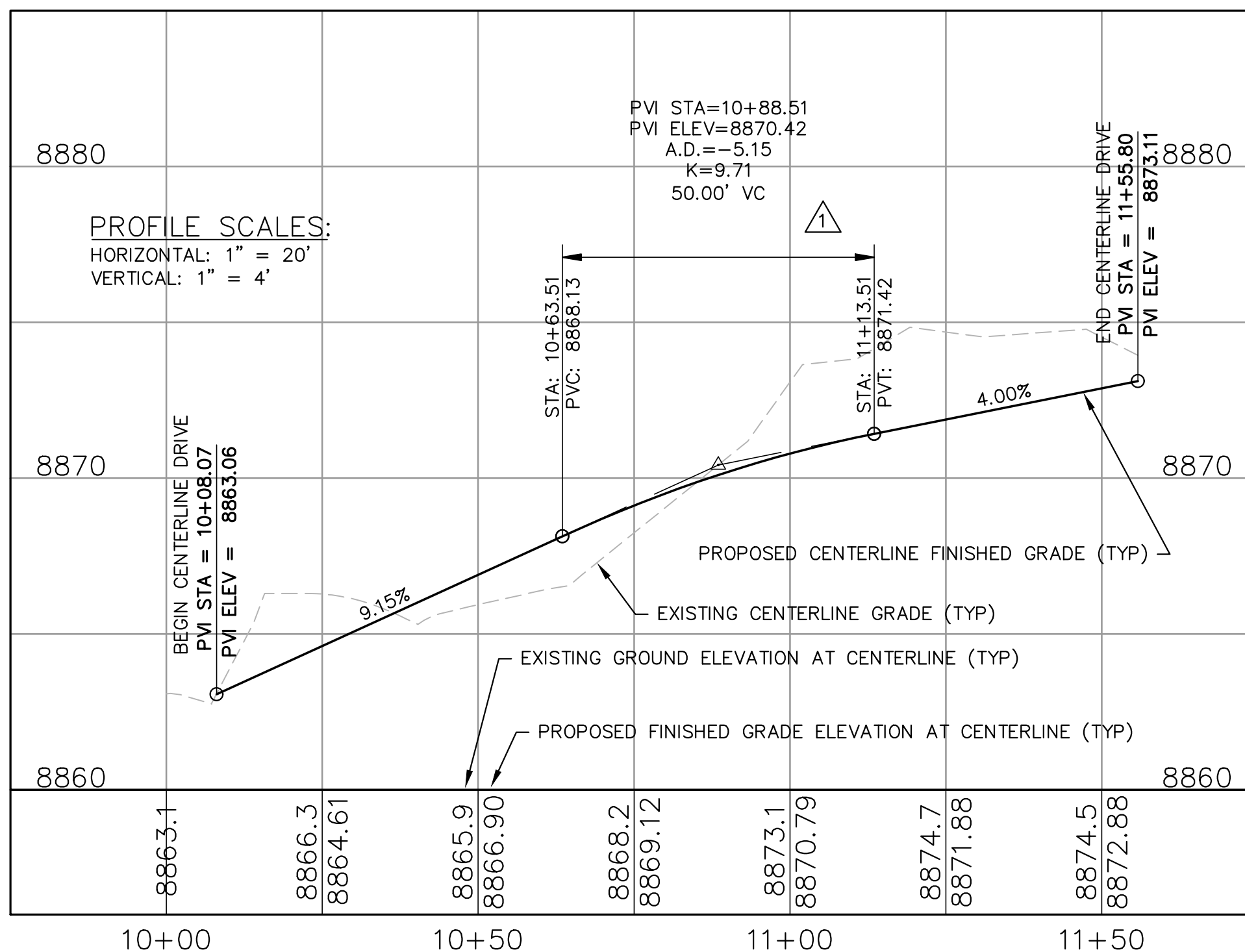
PROJECT #: 2021029

PROJECT MANAGER: GEA
DRAWN BY: ADM

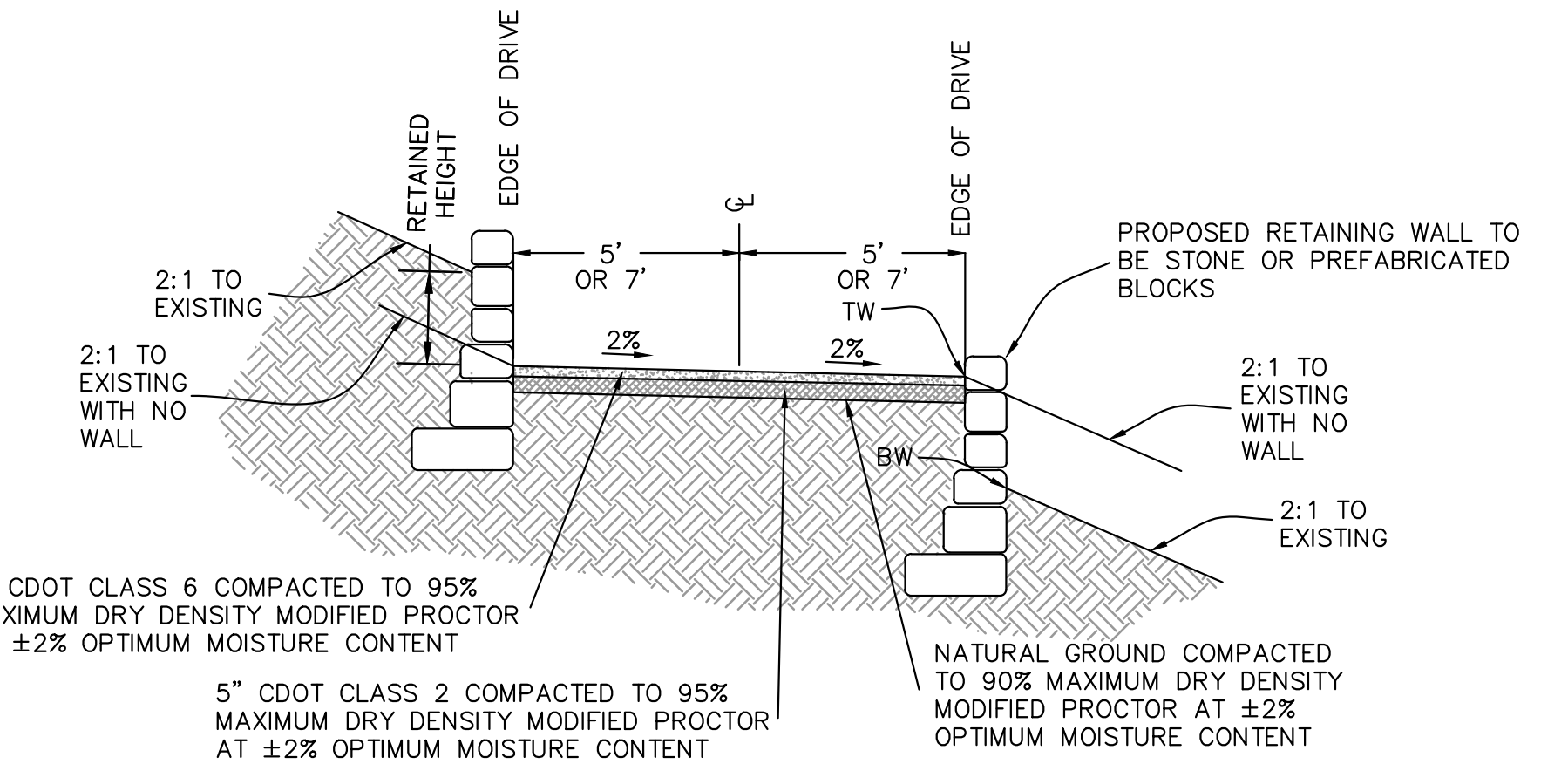
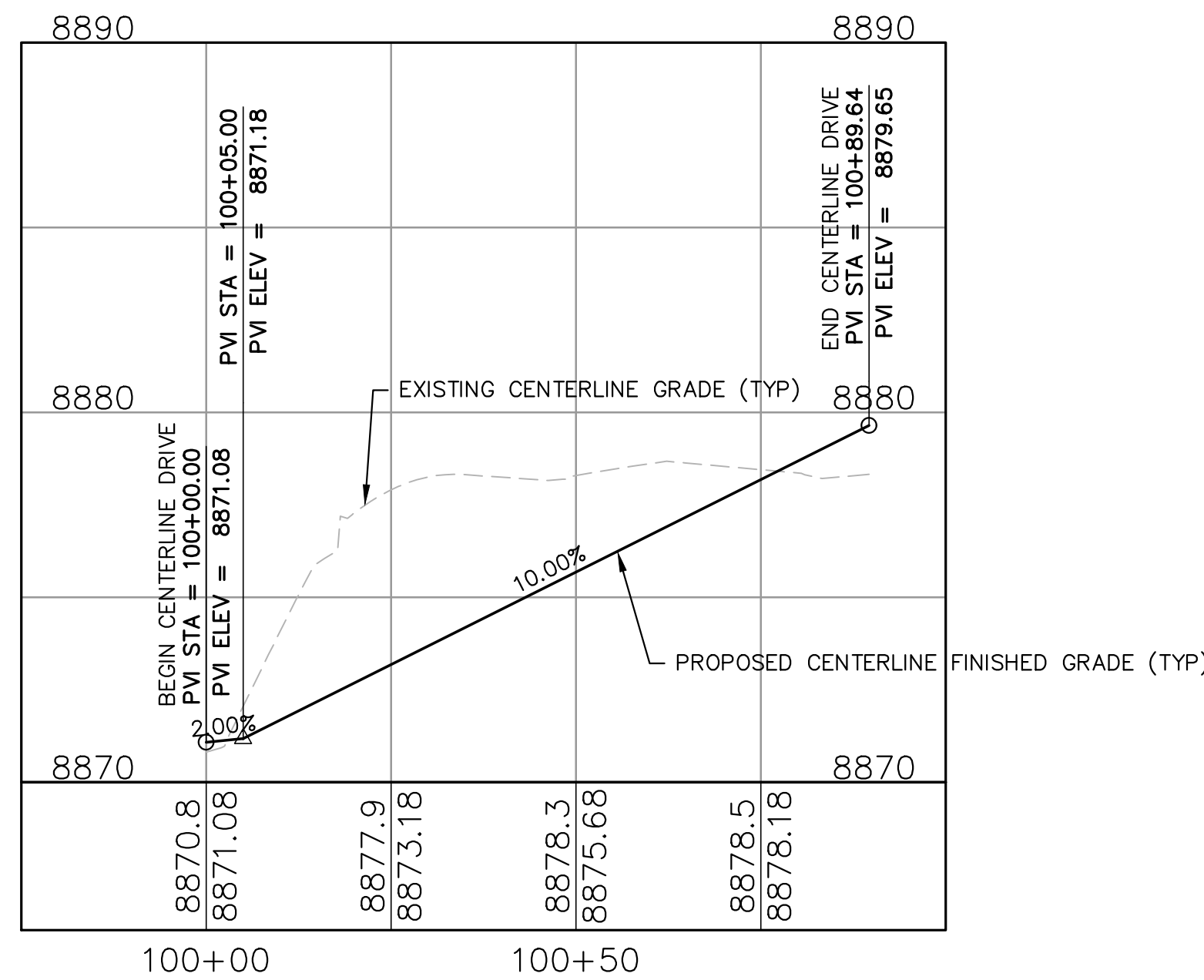
SHEET #:
3 OF 8



DRIVEWAY ACCESES PLAN



DRIVEWAY ACCESES PROFILE



DRIVEWAY ACCESS SECTION

LINE TABLE			
TAG	LENGTH	DIRECTION	DESCRIPTION
L1	112.01'	S02°06'00"E	CENTERLINE
L2	22.84'	S55°03'36"W	CENTERLINE
L3	54.85'	N02°06'00"W	CENTERLINE
L4	7.16'	N73°17'33"E	CENTERLINE
L5	5.32'	S32°06'00"E	EOG
L6	6.41'	S17°06'00"E	EOG
L7	6.41'	S12°54'00"W	EOG

CURVE TABLE						
TAG	LENGTH	RADIUS	DELTA	CHORD-BRG	CHORD-LEN	DESCRIPTION
C1	20.95'	21.00'	57°09'36"	S26° 28' 48"W	20.09	CENTERLINE
C2	27.63'	21.00'	75°23'33"	N35° 35' 47"E	25.68	CENTERLINE
C3	2.62'	5.00'	30°00'00"	S17° 06' 00"E	2.59	EOG
C4	2.62'	5.00'	30°00'00"	S17° 06' 00"E	2.59	EOG
C5	10.46'	5.00'	119°52'27"	N65° 00' 11"W	8.65	EOG
C6	5.25'	5.00'	60°07'33"	N24° 59' 49"E	5.01	EOG
C7	1.31'	5.00'	15°00'00"	S09° 36' 00"E	1.31	EOG
C8	1.31'	5.00'	15°00'00"	S09° 36' 00"E	1.31	EOG
C9	1.31'	5.00'	15°00'00"	S05° 24' 00"W	1.31	EOG
C10	1.31'	5.00'	15°00'00"	S05° 24' 00"W	1.31	EOG
C11	11.24'	5.00'	128°48'45"	N77° 49' 12"W	9.02	EOG
C12	7.63'	5.00'	87°23'27"	N24° 09' 27"E	6.91	EOG

NOTES

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LOT 28-40 BLOCK 9
TOWN OF RICO

DRIVEWAY ACCESES PLAN
AND PROFILE

CLIENT:

FLATT FAMILY LLP
 5480 EAST DESERT CREEK LANE
 CAVE CREEK, AZ 85331

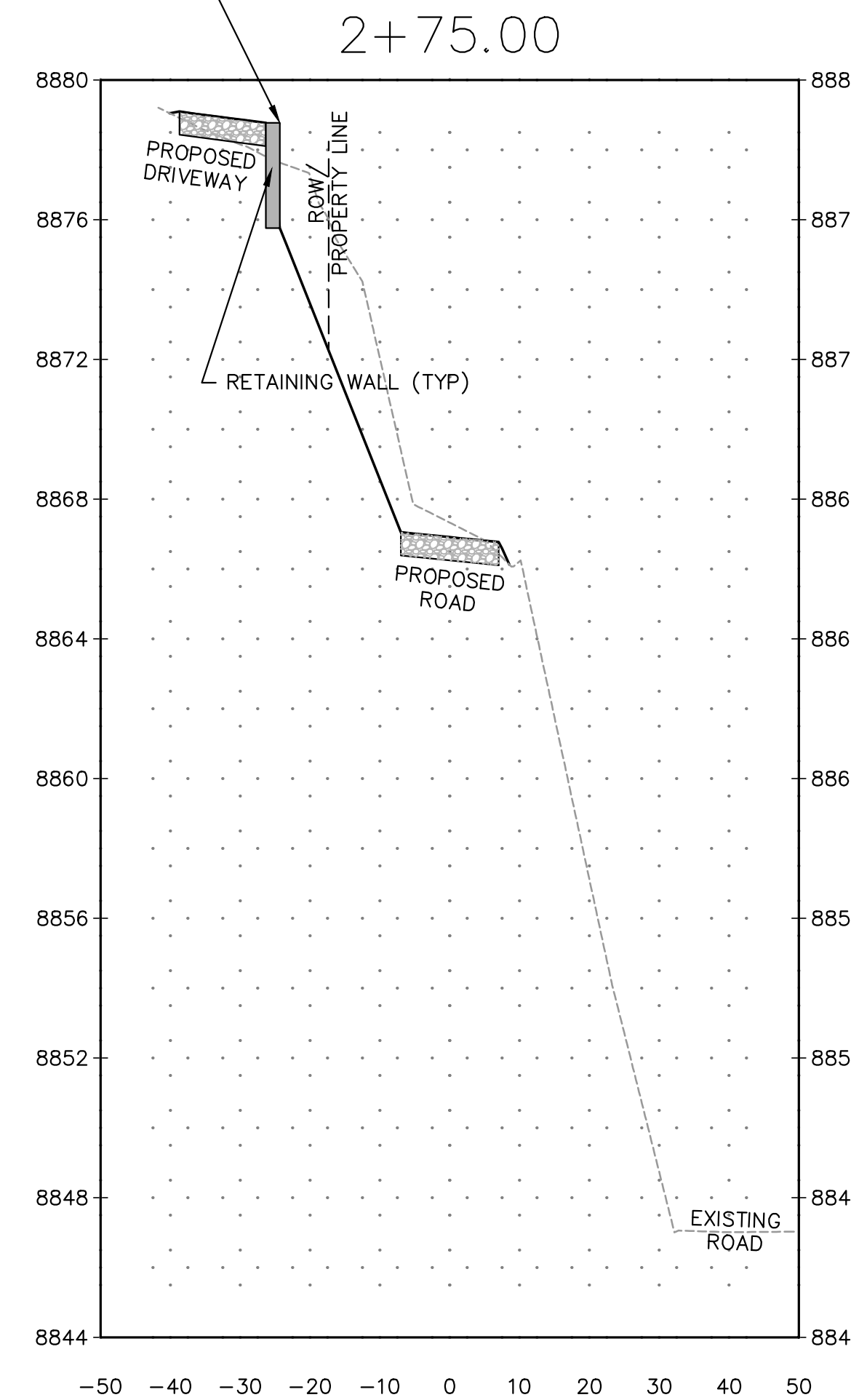
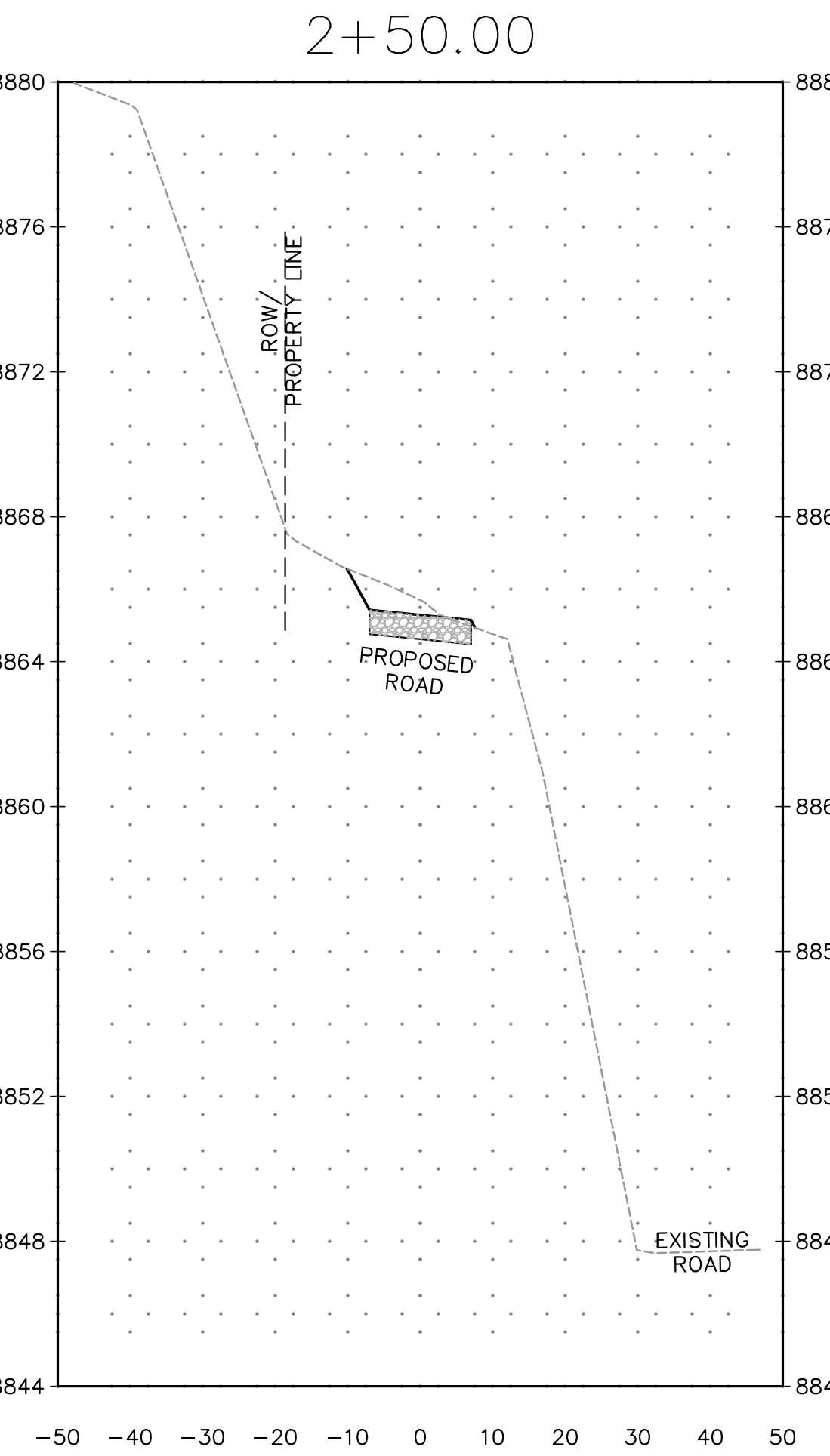
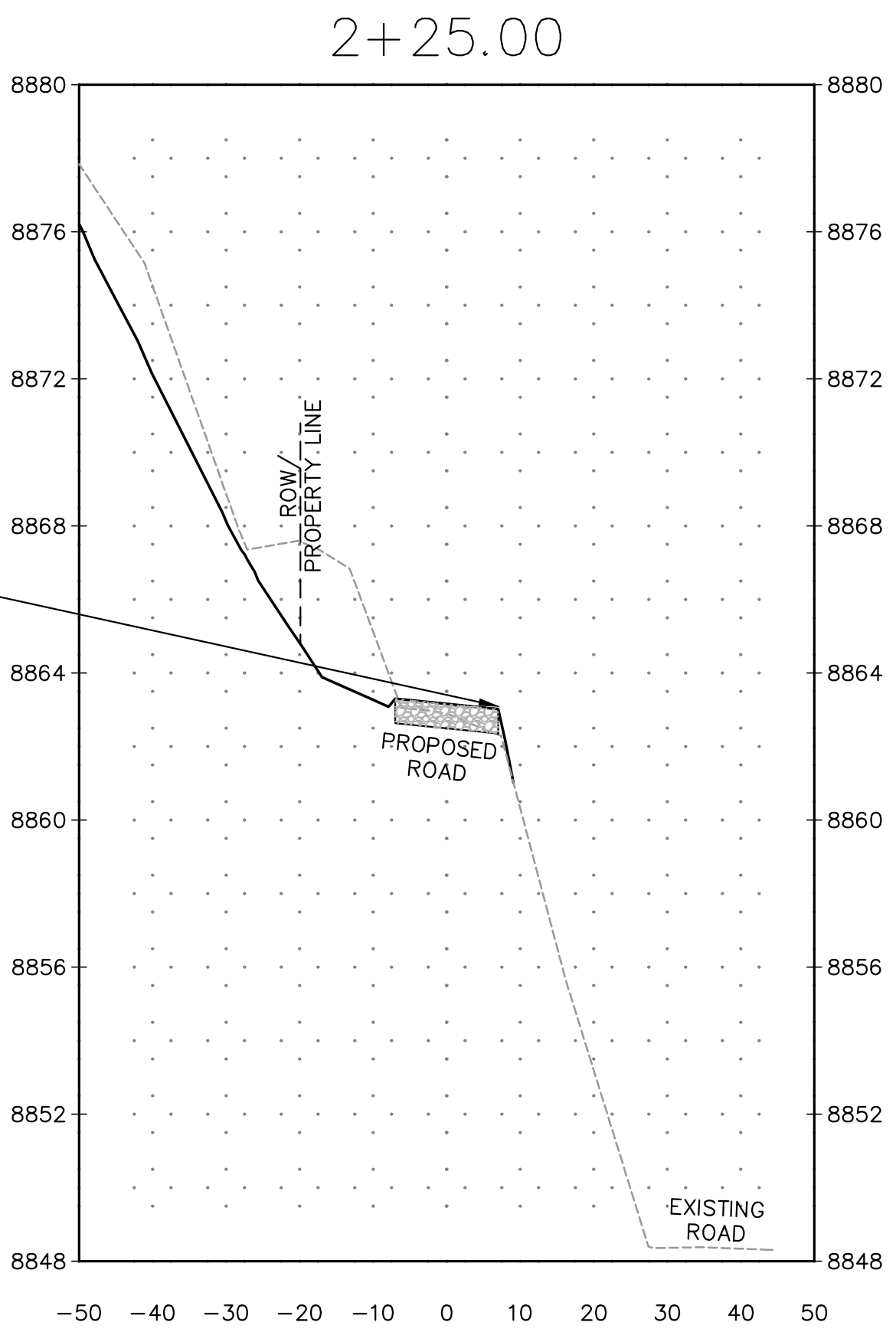
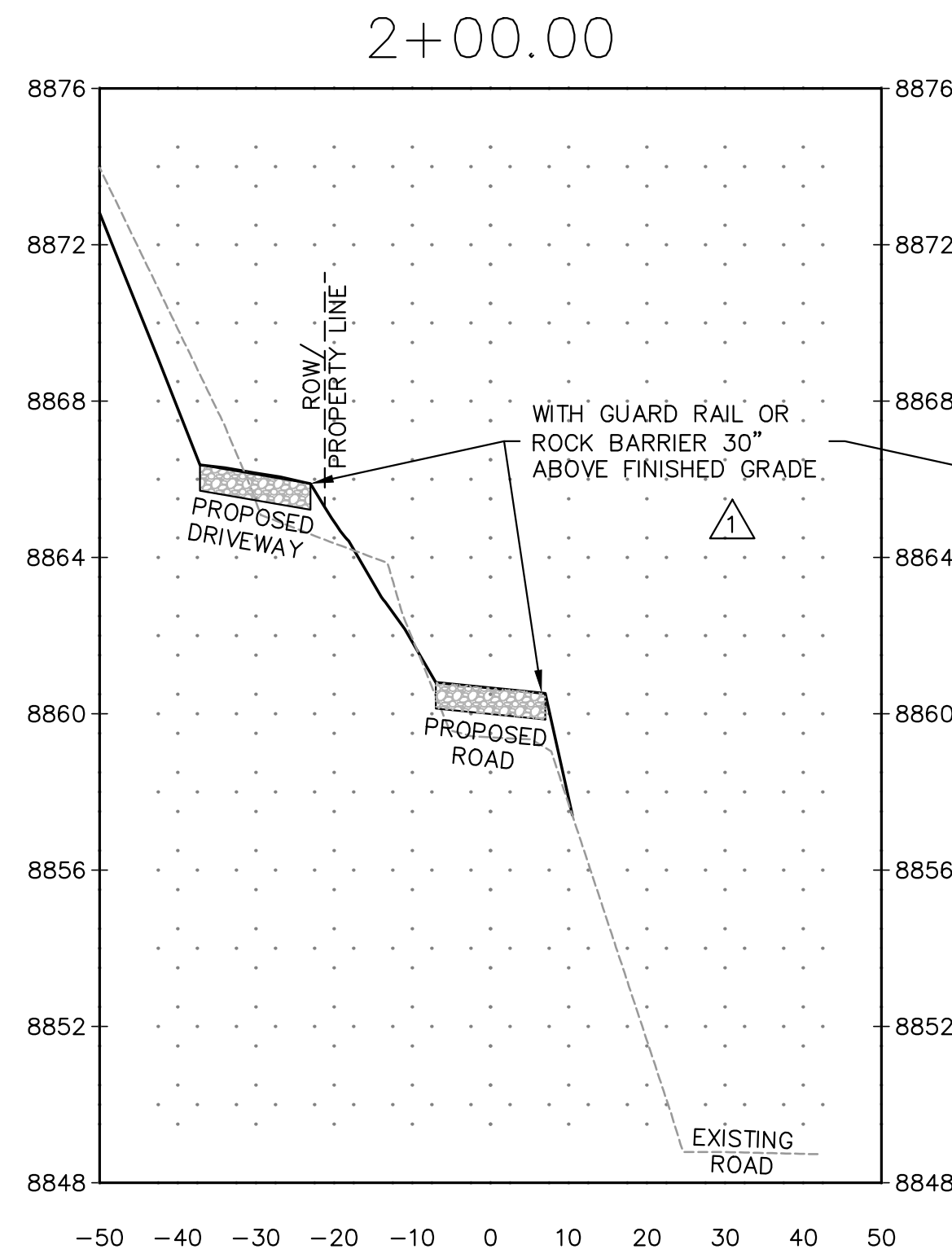
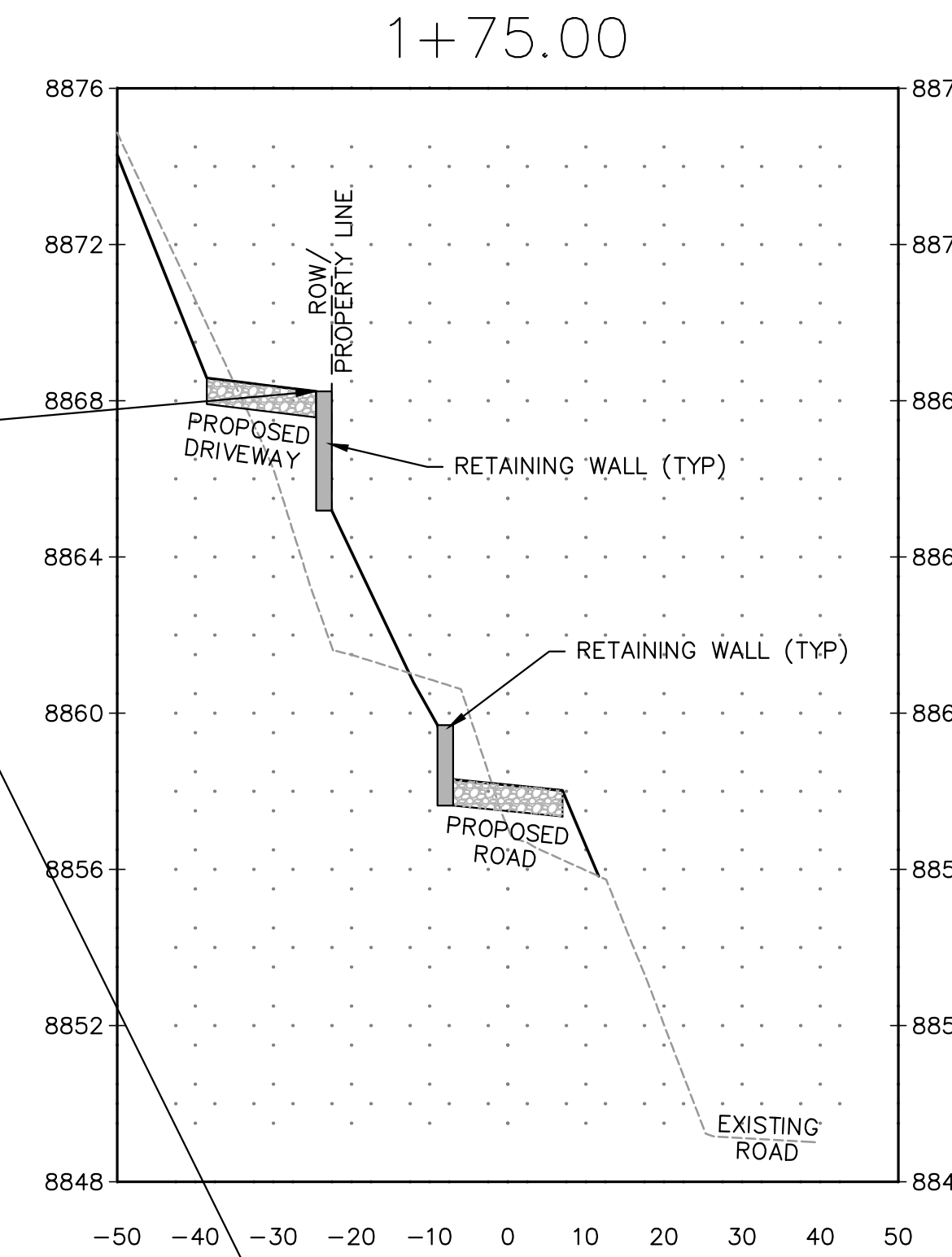
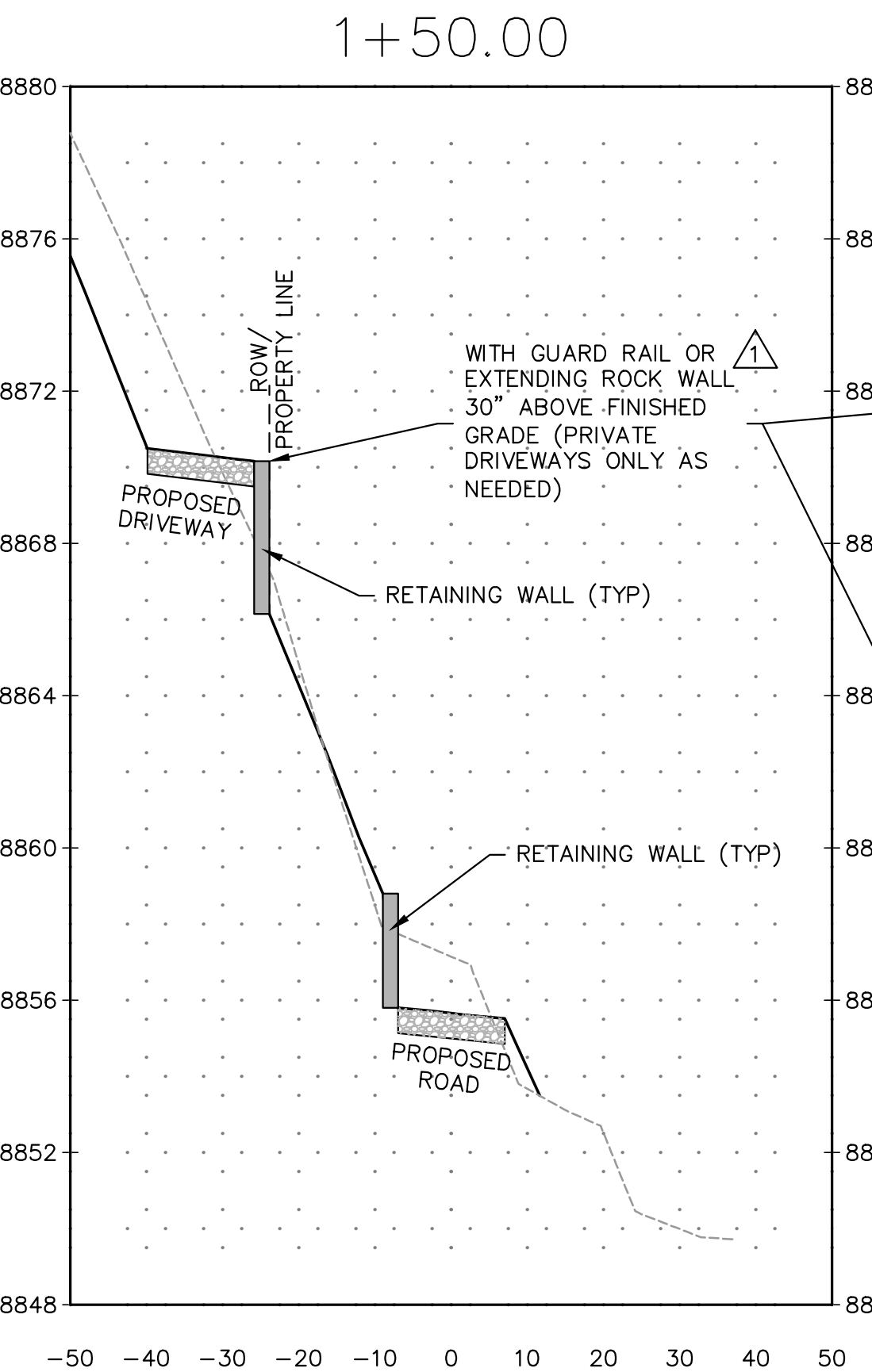
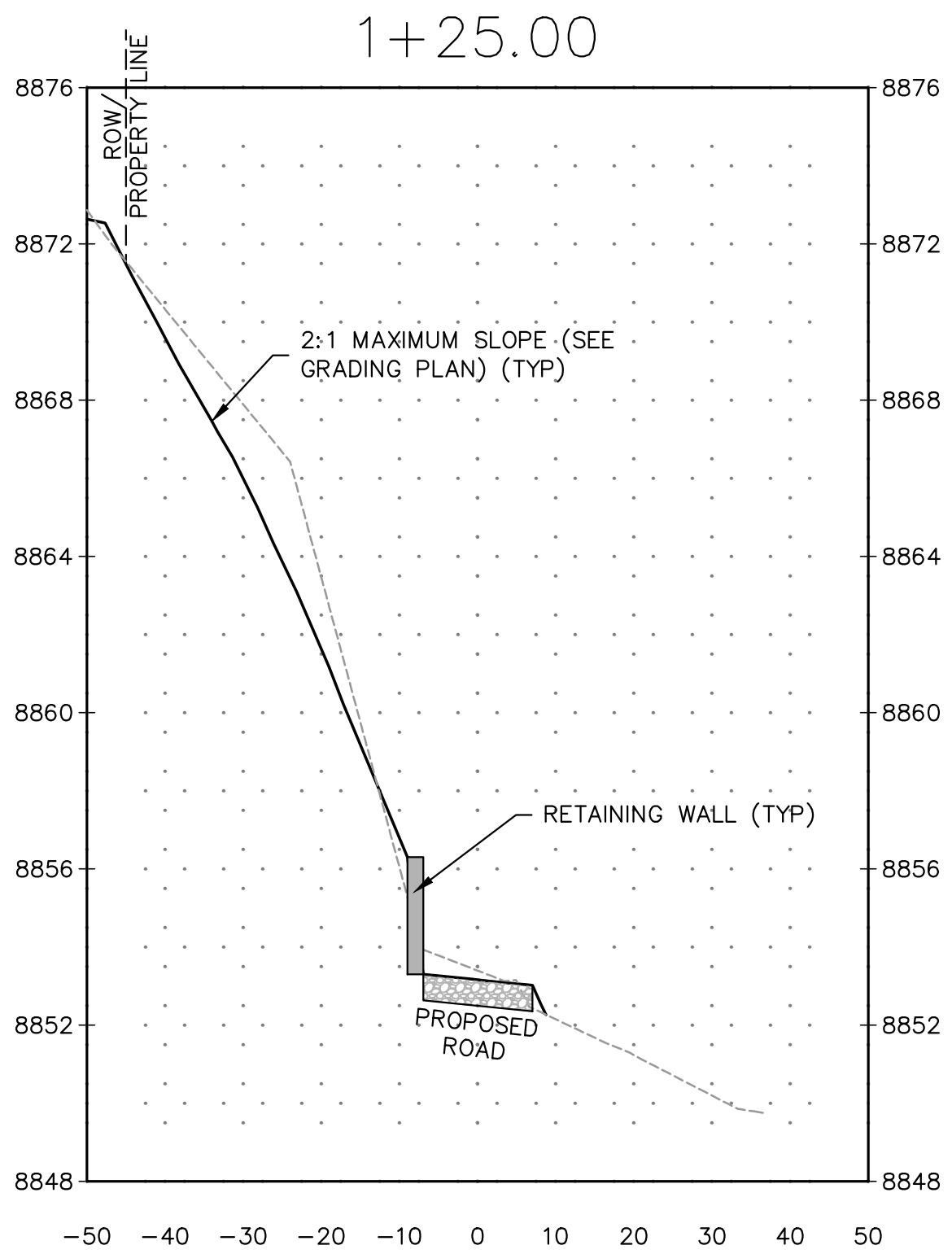
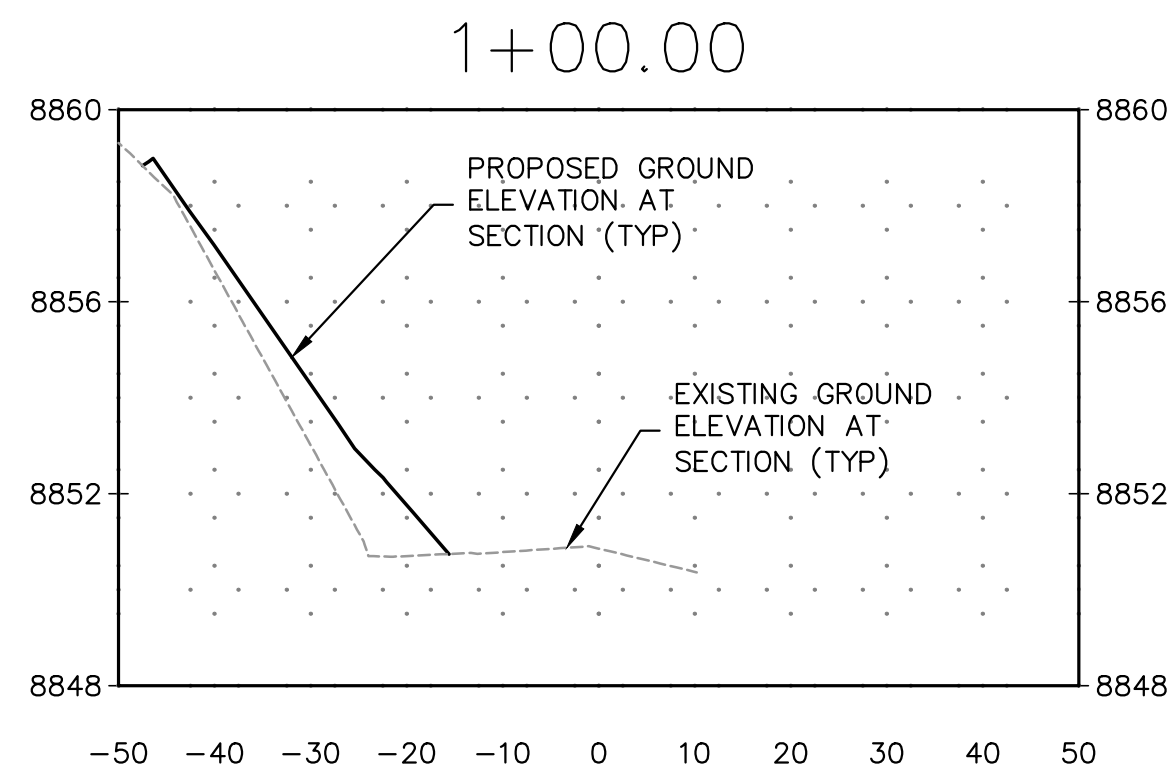
DATE: APRIL 19, 2022

PROJECT #: 2021029

PROJECT MANAGER: GEA
 DRAWN BY: ADM

SHEET #: 4 OF 8

SECTION SCALES:
HORIZONTAL: 1" = 20'
VERTICAL: 1" = 4'



NOTES

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970-708-0326
GREGG@ALPINELANDCONSULTING.COM

LOT 28-40 BLOCK 9
TOWN OF RICO
ROAD SECTIONS

CLIENT:

FLATT FAMILY LLP
5480 EAST DESERT CREEK LANE
CAVE CREEK, AZ 85331

DATE: APRIL 19, 2022

PROJECT #: 2021029

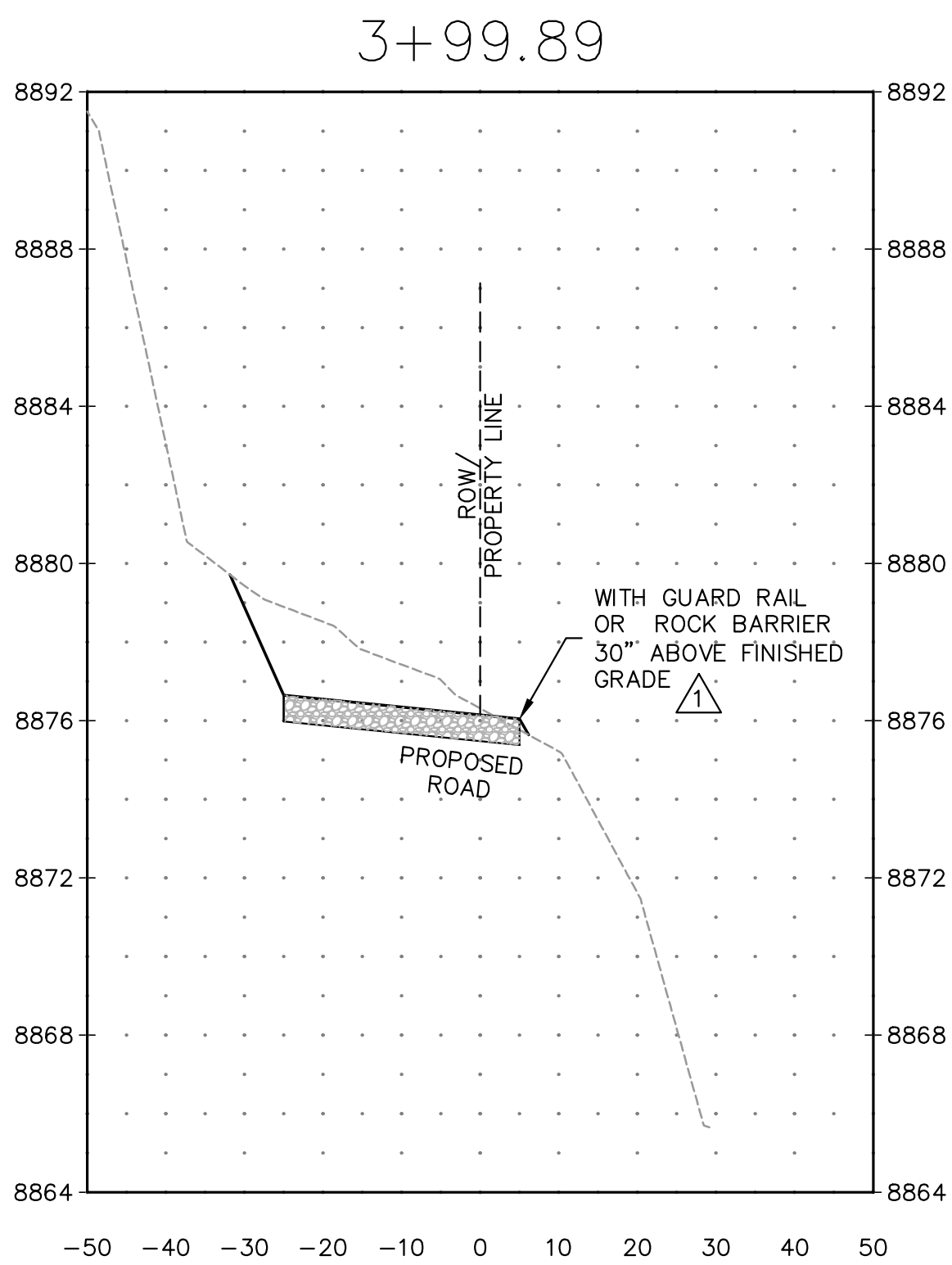
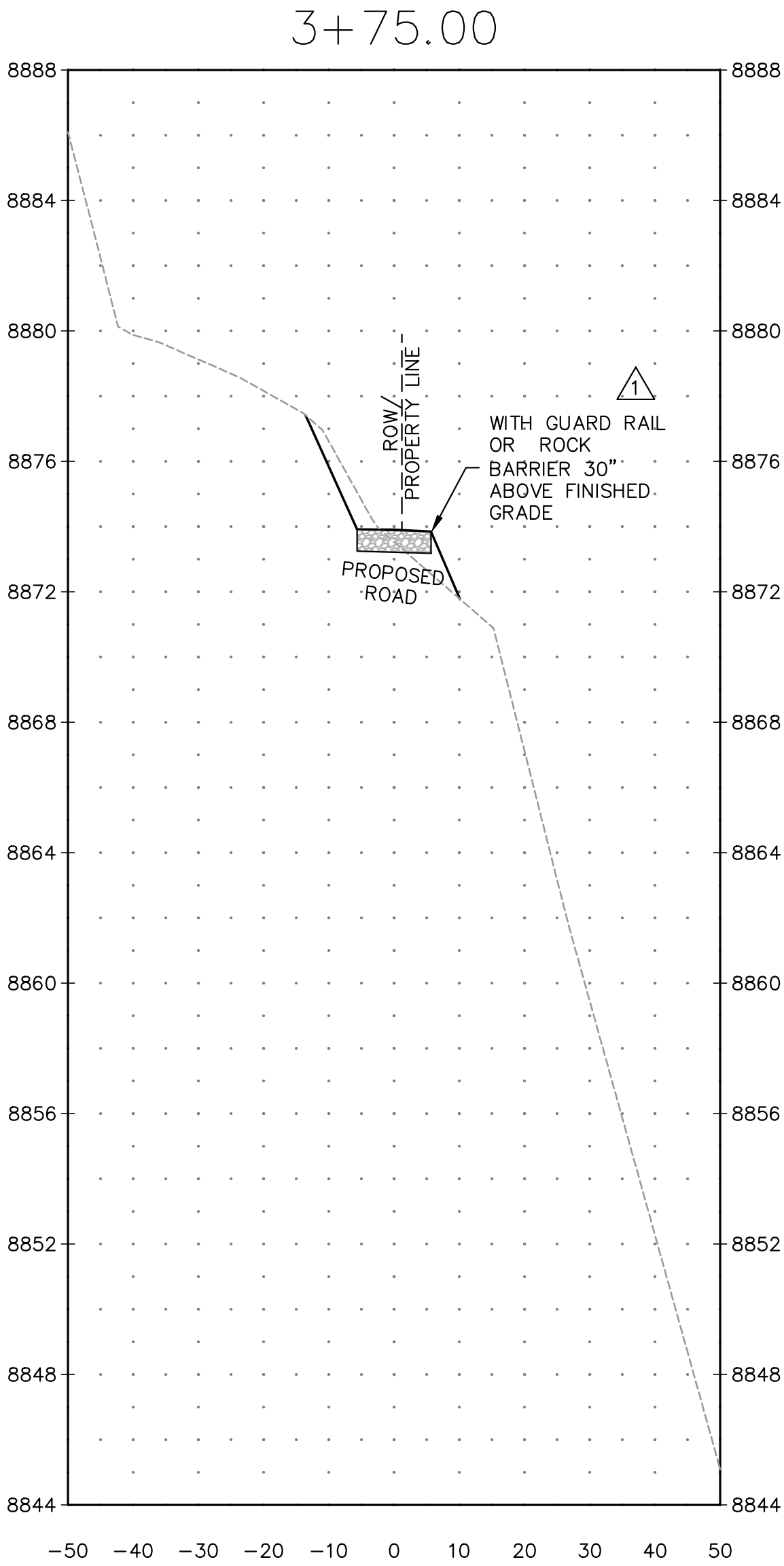
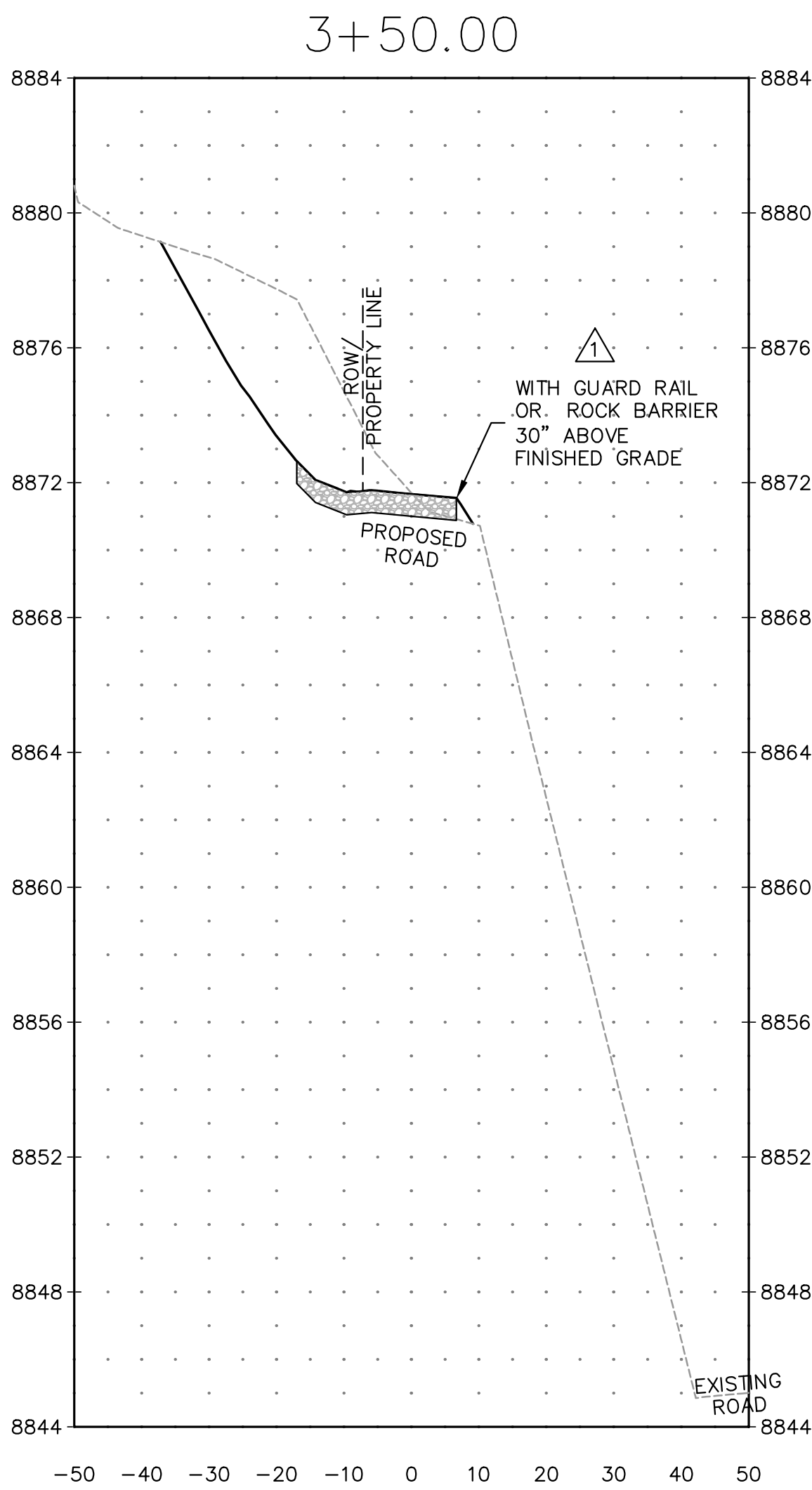
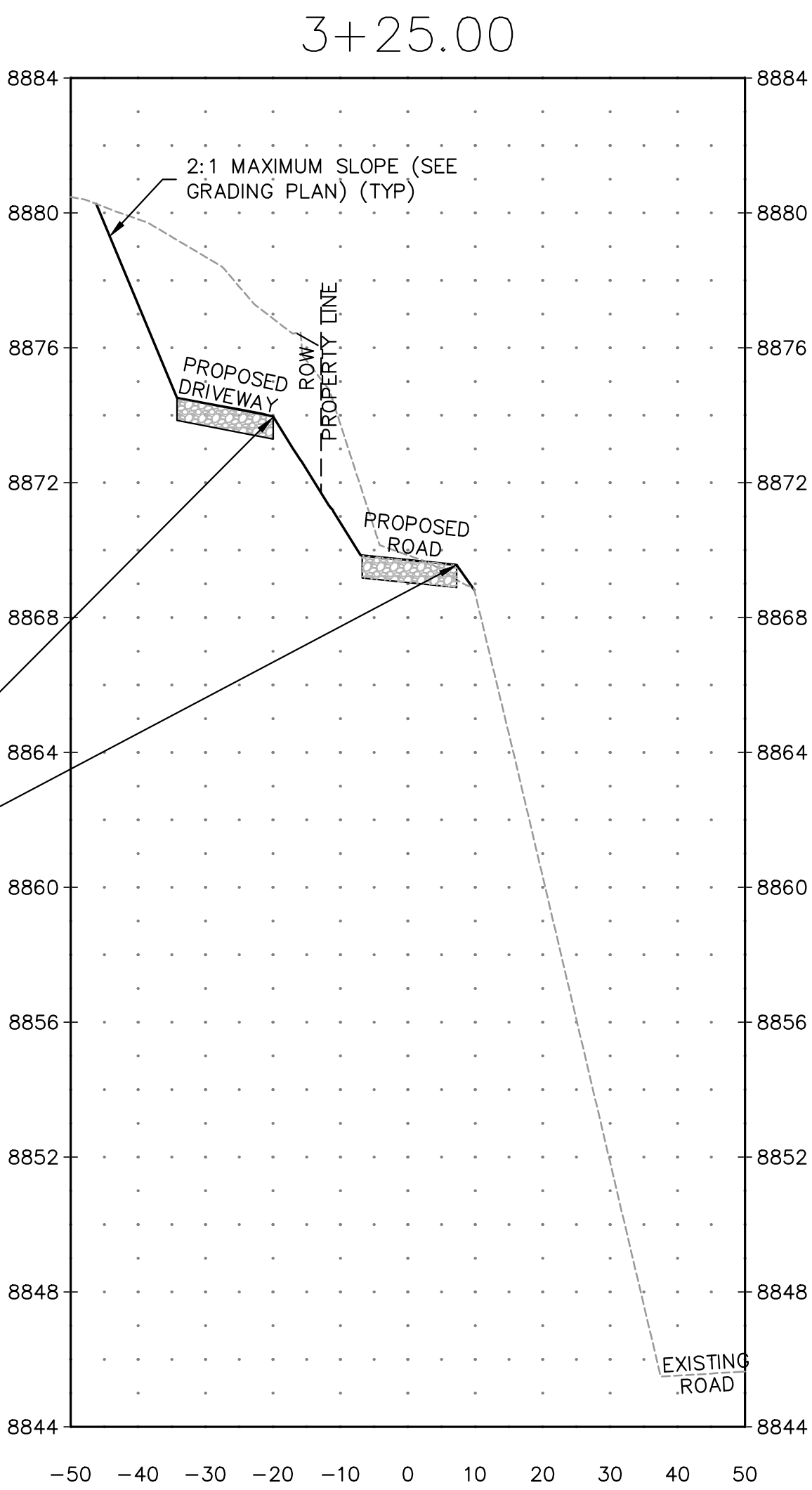
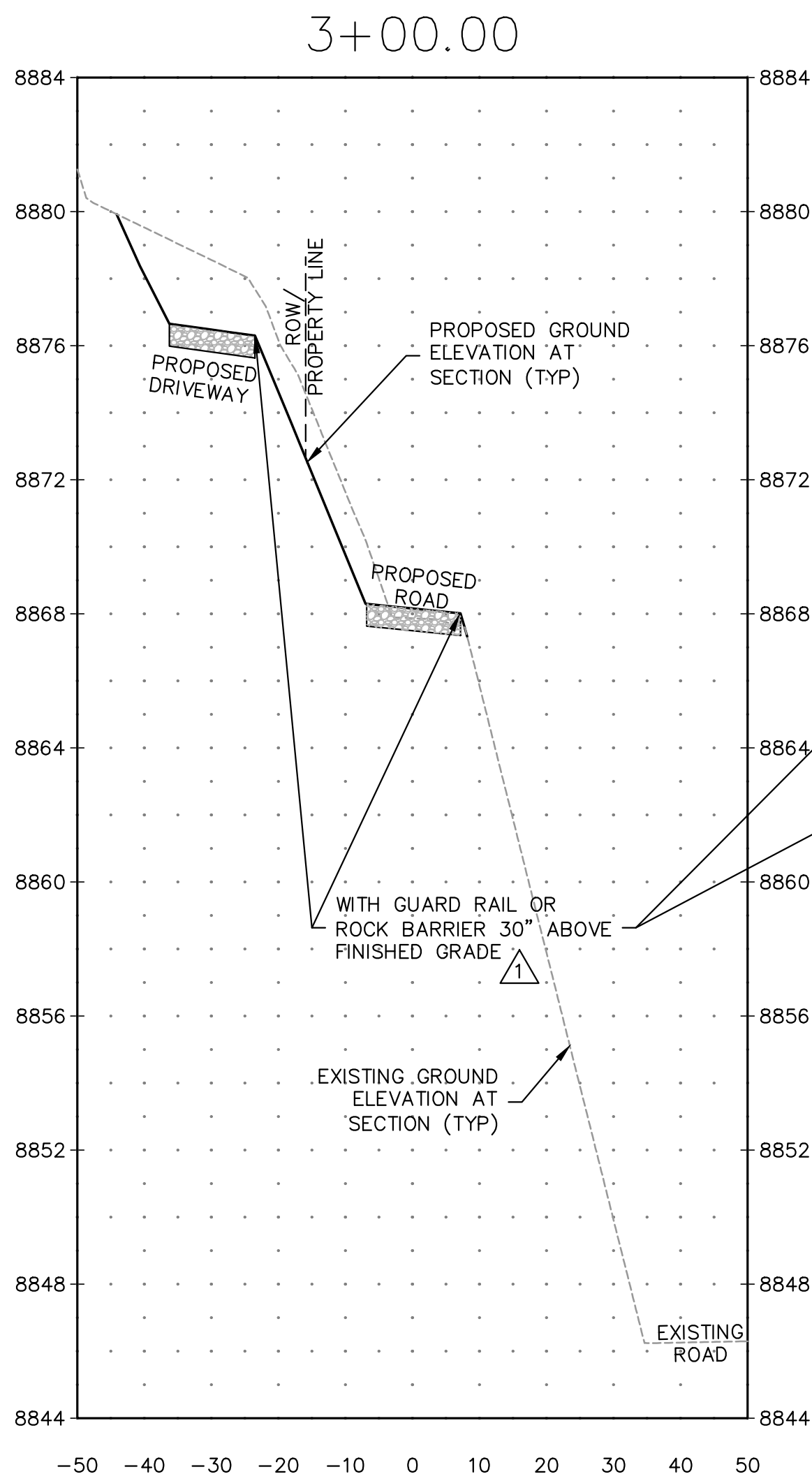
PROJECT MANAGER: GEA
DRAWN BY: ADM

SHEET #: 5 OF 8

ROAD SECTIONS

REVISIONS		DATE
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1	TOWN OF RICO COMMENTS (BUCKHORN ENGINEERING LETTER 5-5-22)	05/31/22

SECTION SCALES:
HORIZONTAL: 1" = 20'
VERTICAL: 1" = 4'



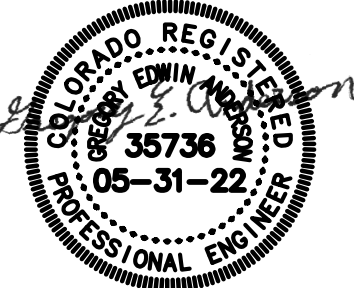
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LOT 28-40 BLOCK 9
TOWN OF RICO

ROAD SECTIONS

CLIENT:

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5480 EAST DESERT CREEK LANE
CAVE CREEK, AZ 85331

DATE: APRIL 19, 2022

PROJECT #: 2021029

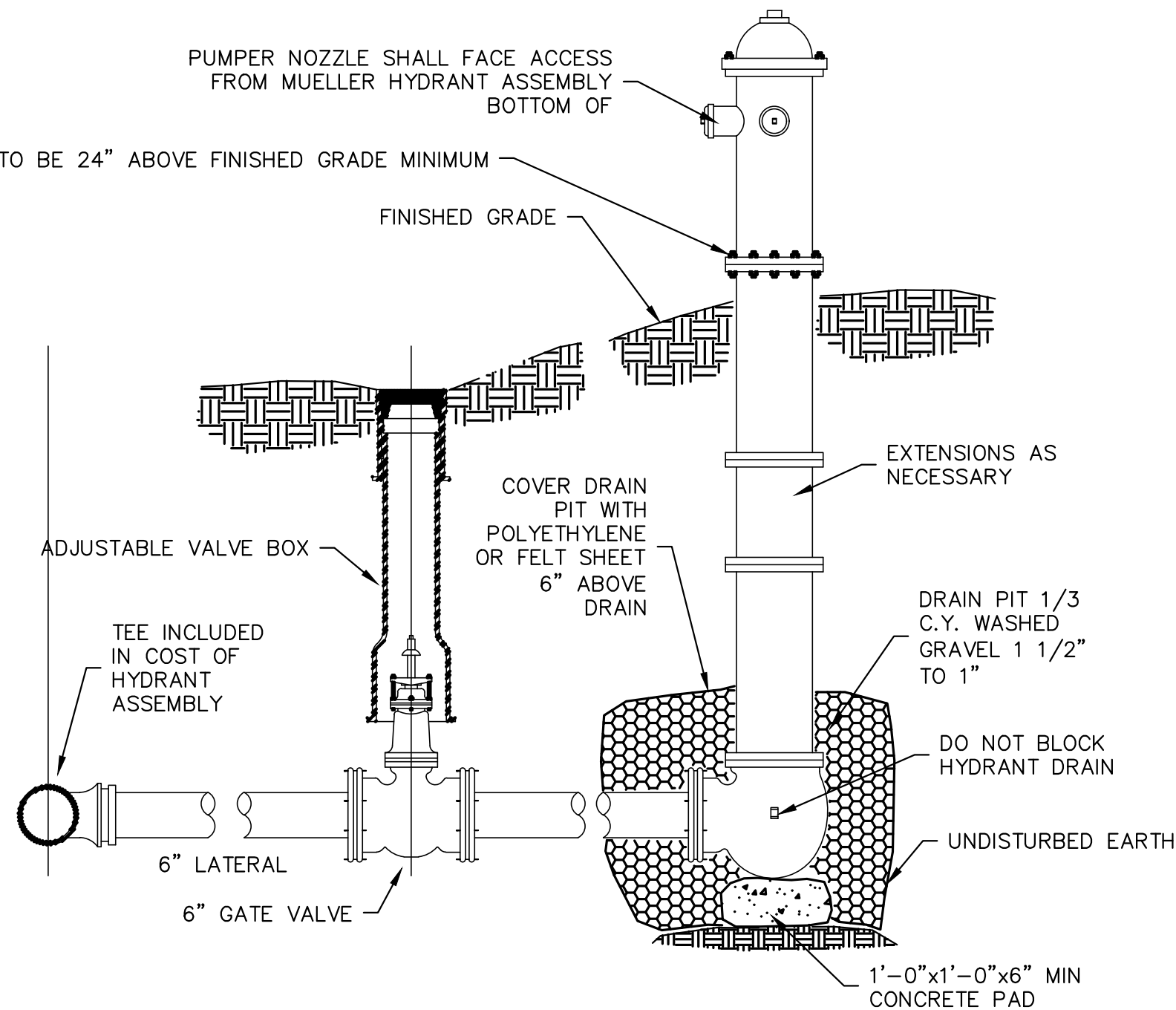
PROJECT MANAGER: GEA
DRAWN BY: ADM

SHEET #: 6 OF 8

LEGEND

- | | |
|------|----------------|
| 2.0% | PROPOSED GRADE |
| 2:1 | PROPOSED SLOPE |
| 1:1 | EXISTING SLOPE |

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FIRE HYDRANT ASSEMBLY

NTS

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LOT 28-40 BLOCK 9
TOWN OF RICO

UTILITY PLAN

CLIENT:

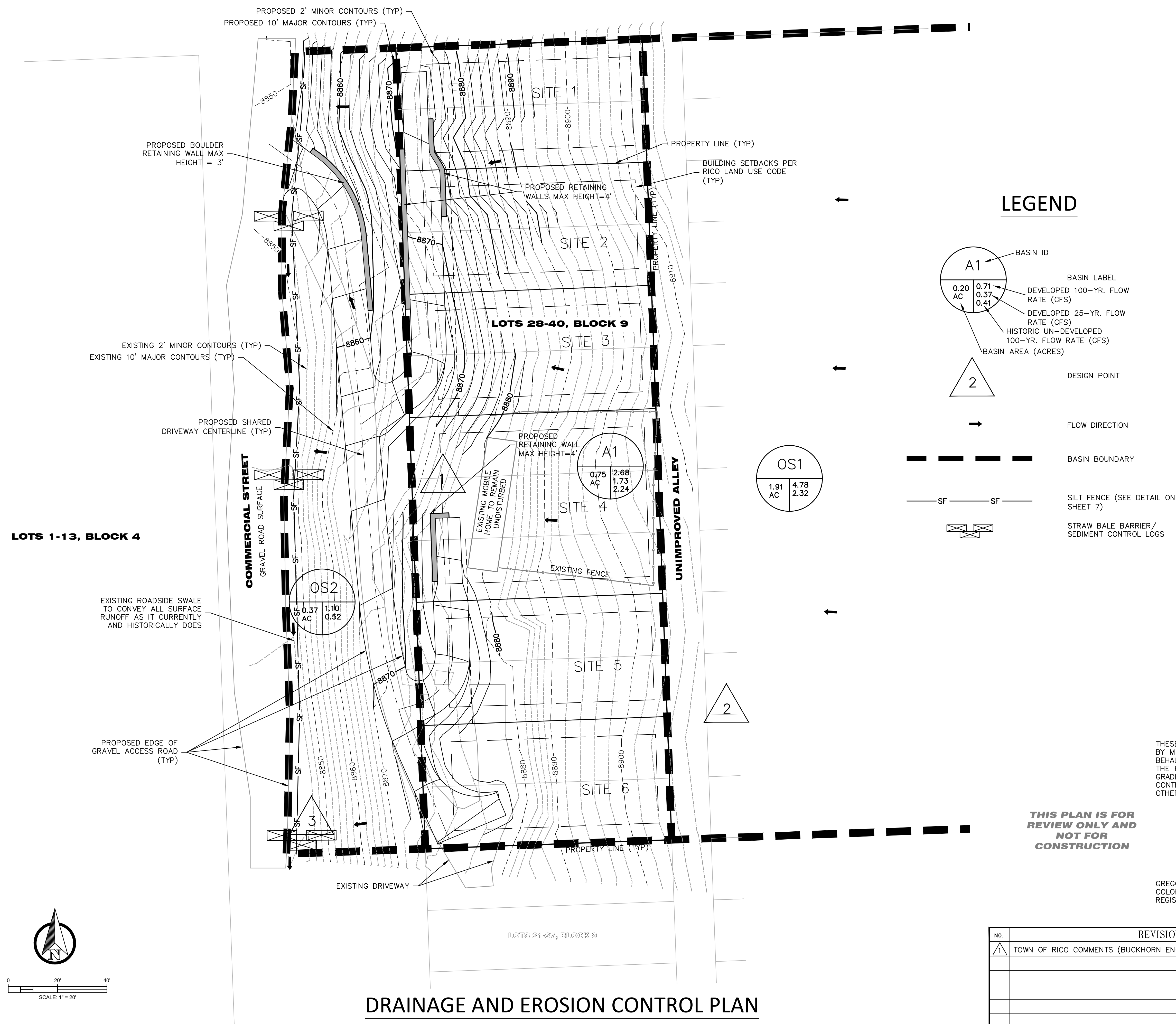
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DATE: APRIL 19, 2022

PROJECT #: 2021029

PROJECT MANAGER: GEA
DRAWN BY: ADM

SHEET #: 1
7 OF 8

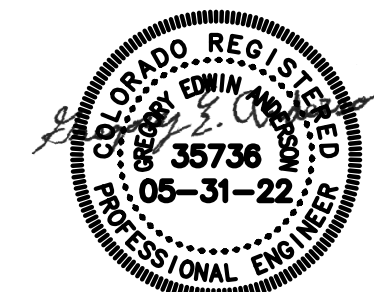


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5. CONTRACTOR MAY MODIFY EROSION CONTROL WITH TOWN OR RICO APPROVAL. EROSION CONTROL TO REMAIN IN PLACE UNTIL GRASS IS ESTABLISHED ON DISTURBED FINISH GRADE AROUND THE PROPOSED ROAD AND DRIVEWAY IMPROVEMENTS.

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**LOT 28-40 BLOCK 9
 TOWN OF RICO
 DRAINAGE AND EROSION
 CONTROL PLAN**

CLIENT:

FLATT FAMILY LLP
 5480 EAST DESERT CREEK LANE
 CAVE CREEK, AZ 85331

DATE: APRIL 19, 2022

PROJECT #: 2021029

PROJECT MANAGER: GEA
 DRAWN BY: GEA

SHEET #:

8 OF 8

NO.	REVISIONS	DATE
1	TOWN OF RICO COMMENTS (BUCKHORN ENGINEERING LETTER 5-5-22)	05/31/22



May 31, 2022

Mr. Chauncey McCarthy
Town Manager
Town of Rico
P.O. Box 9
Rico, CO 81332

Re: Design Review Road Improvement Plans, Lots 28-40, Block 9

Dear Mr. McCarthy:

This letter is in response to the memorandum from Buckhorn Engineering, prepared by Dan Quigley, P.E., dated May 5, 2022. The responses listed below correlate directly to Mr. Quigley's numbered comments.

1. All water line notes have been modified as the only proposed waterline improvement is for one (1) proposed fire hydrant as requested by the Rico Fire Protection District.
2. Dimension Ration (DR) 18 has been added to the plans for all PVC C900 pipe.
3. This and all other water service notes were removed.
4. This label was modified and there should be no overprinting.
5. The labels were modified to add guard rail or boulders as an option. Alpine Land Consulting's opinion is that the difficulty with snow removal will be the same with boulders or guard rail. Guard rail does allow sheet flow under and around, but they do get beat up during plowing. As this issue pertains to retaining walls adjoining the private shared driveways and are not within the right-of-way. This should be a non-issue.
6. This is a roadway and driveway improvement plan, not a replat. These are existing lots that will be accessed by the proposed improvement to the right-of-way. No water, electrical, or communication services are proposed at this time as it is unknown how many homes may be built or will need service in the future. Per the Town of Rico there is

P.O. Box 234
Rico, Colorado 81332
970-708-0326
alpinelandconsulting.com

Town Manager, Town of Rico

November 9, 2011

Page 2

existing water main in the alley, which will provide water to services coming from the alley. It is assumed that all other utility services will be able to follow the water main in the adjoining alley right-of-way. This is much the same for all the other existing non-developed lots within the Town of Rico.

7. A Drainage and Erosion Control Plan is included with the revised roadway improvement plans. Historically, this area has sheet flowed to the roadside swale along the existing gravel roadway within the existing road right-of-way. In general, it is proposed to keep this surface shallow sheet flow across the platted lots, shared driveway, and right-of-way improvements. With the aspen vegetation remaining below most of the proposed improvement erosion should not be increased and these trees will help to keep the snow from sliding down to the existing roadway below.
8. Potential easements are shown on the revised roadway improvement plans. The owner has been working with an attorney and title company to complete separate easement documents that can be recorded at the time of a property sale. At this time, it would be premature to record the easements as currently there is only one owner, and it is possible that one or two purchasers could buy the entire property. If that was how this property was sold there would be no need for any driveway easement.

If you have any questions, please contact our office at 970-708-0326.

Respectfully Submitted,



Gregory E. Anderson, P.E.
President, Alpine Land Consulting, LLC

P.O. Box 234
Rico, Colorado 81332
970-708-0326
alpinelandconsulting.com



TOWN OF RICO
DOLORES COUNTY, COLORADO
INCORPORATED OCTOBER 11, 1879
 2 North Commercial Street
 Post Office Box 9
 Rico, Colorado 81332
 Office # 970.967.2861
 Fax # 970.967.2862
www.townofrico.colorado.gov

To: Rico Town Board

From: Rico Town Staff

Date: 7.13.2022

RE: Extension of the Dolores River Trails submission timeline for Preliminary Plat

Rico Town Board of Trustees

The Rico town staff would like to support the extension of the submission deadline for the applicant of the Dolores River Trails subdivision preliminary plat application materials.

The town staff has had very positive and favorable progress with the applicant in working collaboratively on some of the more complex issues of this subdivision application. The town staff recently met with the applicant and requested a number of items the applicant was willing to change, incorporate or explore for preliminary plat submission. The staff realizes that given the nature of availability of some of the other professionals needed to incorporate those changes that an extension of the application submission deadline would likely need to occur for those requests to be met.

Staff is recommending and requesting the Town Board of Trustees consider granting the extension to August 8, 2022.

Recommended Motion:

- I move to approve the request for an extension of the Dolores River Trail subdivision submittal timeline for preliminary plat

As always, feel free to contact the Town Manager for any questions or concerns in granting this extension or supporting the town staff's recommendation.



Quality, client-focused legal services in Southwest Colorado

Kimberly C. Perdue
Phone: (970) 422-5510
kperdue@swpropertylaw.com
www.southwestpropertylaw.com

July 8, 2022

Delivered by electronic mail only to townmanager@ricocolorado.gov

Rico Board of Trustees
P.O. Box 8
2 Commercial Street
Rico, Colorado 81332

*Re: Request for 30-Day Extension of Time to Submit Preliminary Plat Application
for Dolores River Subdivision*

Dear Board Members:

My clients, Rebecca Adams and Gordon Mortensen, respectfully request a 30-day extension of time to submit information required for the preliminary plat review and approval phase of their application to develop the proposed Dolores River Subdivision. Thank you in advance for your consideration of this request.

Ms. Adams and Mr. Mortensen received conceptual approval of their proposed subdivision from the Planning Commission on March 9, 2022. According to section 570 of the Town of Rico Land Use Code, they must "proceed to the next review stage in the review process within four (4) months" of the Planning Commission's approval. Thus, Ms. Adams's and Mr. Mortensen's deadline to proceed to the next review stage is July 8, 2022. However, section 570 further provides that Ms. Adams and Mr. Mortensen "may request an extension of time in writing prior to the expiration of the four (4) month period and the Town Board may approve an extension of such time as it deems appropriate based on the complexity and scope of the application."

Upon receiving conceptual approval, Ms. Adams and Mr. Mortensen proceeded diligently to develop and submit the materials required for the preliminary plat review phase, including incorporating the Planning Commission's feedback to adjust certain lot lines and building envelopes within the site plan and preliminary plat, and perform additional analysis of potential constraints. They submitted all required application materials for review to the Town Manager and Town Planner by email dated June 22, 2022, to wit:

1. Preliminary Plat
2. Preliminary plat vicinity map + signature page
3. Slope study with contours

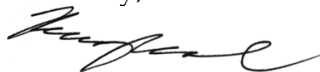
4. Updated site plan
5. Updated slopes and constraints map
6. Infrastructure Improvement Plans

And although not required at this review phase, they submitted a drainage report for review and discussion on July 1, 2022.

The Town Manager and Town Planner provided their feedback on those materials on July 6, 2022. While they did not indicate that any application materials were omitted or insufficient, they proposed that Ms. Adams and Mr. Mortensen consider certain edits and additions to the site plan and preliminary plat, which might minimize the potential for uncertainties or additional steps in the review process. Ms. Adams and Mr. Mortensen agreed to make certain edits and additions to their application materials as proposed, however the two days remaining before their July 9, 2022 submittal deadline did not allow adequate time to consult with their surveyor and engineer and finalize the submittal materials.

At the Town Manager's and Town Planner's suggestion, Ms. Adams and Mr. Mortensen therefore request a reasonable extension of time to consider and implement the changes proposed. They believe those changes ultimately will streamline the review process and perhaps expedite, rather than delay, preliminary and final plat approval. They respectfully ask the Board to extend their deadline for submittal of preliminary plat application materials from July 8, 2022 to August 8, 2022.

Sincerely,



Kimberly C. Perdue

Southwest Water and Property Law LLC

cc: Jennifer Stark
Rebecca Adams
Gorden Mortensen

DR 8400 (03/10/22)
 COLORADO DEPARTMENT OF REVENUE
 Liquor Enforcement Division

Submit to Local Licensing Authority

ENTERPRISE BAR & GRILL
PO BOX 338
Rico CO 81332

Fees Due	
Renewal Fee	550.00
Storage Permit \$100 X _____	\$
Sidewalk Service Area \$75.00	\$
Additional Optional Premise Hotel & Restaurant \$100 X _____	\$
Related Facility - Campus Liquor Complex \$160.00 per facility	\$
Amount Due/Paid	\$ 550

Make check payable to: Colorado Department of Revenue. The State may convert your check to a one-time electronic banking transaction. Your bank account may be debited as early as the same day received by the State. If converted, your check will not be returned. If your check is rejected due to insufficient or uncollected funds, the Department may collect the payment amount directly from your banking account electronically.

Retail Liquor or Fermented Malt Beverage License Renewal Application

Please verify & update all information below

Return to city or county licensing authority by due date

Licensee Name METROPOLE LLC		Doing Business As Name (DBA) ENTERPRISE BAR & GRILL	
Liquor License # 03-08195	License Type Hotel & Restaurant (city)		
Sales Tax License Number 32756613	Expiration Date 09/26/2022	Due Date 08/12/2022	
Business Address 3 NORTH GLASGO AVENUE Rico CO 81332			Phone Number 9709675555
Mailing Address PO BOX 338 Rico CO 81332		Email thericobar@gmail.com	
Operating Manager Branchy	Date of Birth 10-30-81	Home Address 219 Mill Rd Rico, CO 81332	Phone Number 505 609 3880
1. Do you have legal possession of the premises at the street address above? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No Are the premises owned or rented? <input type="checkbox"/> Owned <input checked="" type="checkbox"/> Rented* *If rented, expiration date of lease <u>12-31-22</u>			
2. Are you renewing a storage permit, additional optional premises, sidewalk service area, or related facility? If yes, please see the table in upper right hand corner and include all fees due. <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No			
3a. Are you renewing a takeout and/or delivery permit? (Note: must hold a qualifying license type and be authorized for takeout and/or delivery license privileges) <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No			
3b. If so, which are you renewing? <input type="checkbox"/> Delivery <input type="checkbox"/> Takeout <input type="checkbox"/> Both Takeout and Delivery			
4a. Since the date of filing of the last application, has the applicant, including its manager, partners, officer, directors, stockholders, members (LLC), managing members (LLC), or any other person with a 10% or greater financial interest in the applicant, been found in final order of a tax agency to be delinquent in the payment of any state or local taxes, penalties, or interest related to a business? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No			
4b. Since the date of filing of the last application, has the applicant, including its manager, partners, officer, directors, stockholders, members (LLC), managing members (LLC), or any other person with a 10% or greater financial interest in the applicant failed to pay any fees or surcharges imposed pursuant to section 44-3-503, C.R.S.? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No			
5. Since the date of filing of the last application, has there been any change in financial interest (new notes, loans, owners, etc.) or organizational structure (addition or deletion of officers, directors, managing members or general partners)? If yes, explain in detail and attach a listing of all liquor businesses in which these new lenders, owners (other than licensed financial institutions), officers, directors, managing members, or general partners are materially interested. <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No			
6. Since the date of filing of the last application, has the applicant or any of its agents, owners, managers, partners or lenders (other than licensed financial institutions) been convicted of a crime? If yes, attach a detailed explanation. <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No			

7. Since the date of filing of the last application, has the applicant or any of its agents, owners, managers, partners or lenders (other than licensed financial institutions) been denied an alcohol beverage license, had an alcohol beverage license suspended or revoked, or had interest in any entity that had an alcohol beverage license denied, suspended or revoked? If yes, attach a detailed explanation. ☐ Yes ☒ No
8. Does the applicant or any of its agents, owners, managers, partners or lenders (other than licensed financial institutions) have a direct or indirect interest in any other Colorado liquor license, including loans to or from any licensee or interest in a loan to any licensee? If yes, attach a detailed explanation. ☐ Yes ☒ No

Affirmation & Consent		
I declare under penalty of perjury in the second degree that this application and all attachments are true, correct and complete to the best of my knowledge.		
Type or Print Name of Applicant/Authorized Agent of Business		Title
Brandy Randall		owner/manager
Signature		Date
B. J. Kell		6/27/22
Report & Approval of City or County Licensing Authority		
The foregoing application has been examined and the premises, business conducted and character of the applicant are satisfactory, and we do hereby report that such license, if granted, will comply with the provisions of Title 44, Articles 4 and 3, C.R.S., and Liquor Rules.		
Therefore this application is approved.		
Local Licensing Authority For		Date
Signature	Title	Attest

Tax Check Authorization, Waiver, and Request to Release Information

I, Brandy Randall am signing this Tax Check Authorization, Waiver and Request to Release Information (hereinafter "Waiver") on behalf of Metropole LLC (the "Applicant/Licensee") to permit the Colorado Department of Revenue and any other state or local taxing authority to release information and documentation that may otherwise be confidential, as provided below. If I am signing this Waiver for someone other than myself, including on behalf of a business entity, I certify that I have the authority to execute this Waiver on behalf of the Applicant/Licensee.

The Executive Director of the Colorado Department of Revenue is the State Licensing Authority, and oversees the Colorado Liquor Enforcement Division as his or her agents, clerks, and employees. The information and documentation obtained pursuant to this Waiver may be used in connection with the Applicant/Licensee's liquor license application and ongoing licensure by the state and local licensing authorities. The Colorado Liquor Code, section 44-3-101, et seq. ("Liquor Code"), and the Colorado Liquor Rules, 1 CCR 203-2 ("Liquor Rules"), require compliance with certain tax obligations, and set forth the investigative, disciplinary and licensure actions the state and local licensing authorities may take for violations of the Liquor Code and Liquor Rules, including failure to meet tax reporting and payment obligations.

The Waiver is made pursuant to section 39-21-113(4), C.R.S., and any other law, regulation, resolution or ordinance concerning the confidentiality of tax information, or any document, report or return filed in connection with state or local taxes. This Waiver shall be valid until the expiration or revocation of a license, or until both the state and local licensing authorities take final action to approve or deny any application(s) for the renewal of the license, whichever is later. Applicant/Licensee agrees to execute a new waiver for each subsequent licensing period in connection with the renewal of any license, if requested.

By signing below, Applicant/Licensee requests that the Colorado Department of Revenue and any other state or local taxing authority or agency in the possession of tax documents or information, release information and documentation to the Colorado Liquor Enforcement Division, and is duly authorized employees, to act as the Applicant's/Licensee's duly authorized representative under section 39-21-113(4), C.R.S., solely to allow the state and local licensing authorities, and their duly authorized employees, to investigate compliance with the Liquor Code and Liquor Rules. Applicant/Licensee authorizes the state and local licensing authorities, their duly authorized employees, and their legal representatives, to use the information and documentation obtained using this Waiver in any administrative or judicial action regarding the application or license.

Name (Individual/Business) <u>Metropole LLC</u>		Social Security Number/Tax Identification Number <u>32756613</u>	
Address <u>3 N Glasgow Ave</u>			
City <u>RICO</u>		State <u>CO</u>	Zip <u>81332</u>
Home Phone Number <u>505 609 3880</u>		Business/Work Phone Number <u>970 967 5555</u>	
Printed name of person signing on behalf of the Applicant/Licensee <u>Brandy Randall</u>			
Applicant/Licensee's Signature (Signature authorizing the disclosure of confidential tax information) <u>[Signature]</u>			Date signed <u>6/27/22</u>
<p style="text-align: center;">Privacy Act Statement</p> <p>Providing your Social Security Number is voluntary and no right, benefit or privilege provided by law will be denied as a result of refusal to disclose it. § 7 of Privacy Act, 5 USCS § 552a (note).</p>			

**TOWN OF RICO
DOLORES COUNTY, COLORADO
INCORPORATED OCTOBER 11, 1879
2 North Commercial Street
Post Office Box 9
Rico, Colorado 81332
Office# 970.967.2861
Fax # 970.967.2862
WWW.TOWNOFRICO.COLORADO.GOV**

Dear Lana,

At the regular Board of Trustees meeting on July 20, 2022 the Board approved the Town of Rico participation in the coordinated election with Dolores County on November 8, 2022.

If you have any questions please contact Anna Wolf, Town Clerk, at 970-967-2861

Thank you,

Nicole Y. Pieterse

Mayor, Town of Rico

What is the name of the local government you are completing this survey on behalf of?	Does your system provide drinking water service?	How many taps or Equivalent Residential Units (ERUs) does your system serve?	What is the population of your service area?	For residential customers, what is the average monthly bill for 10,000 gallons of use?	For residential customers, what is the average monthly bill based on your customers' average consumption?	For residential customers, what is the average monthly water consumption in gallons?	Do you offer a customer assistance program for users that have difficulty affording their monthly bills?	What percentage of your customers are residential?	What is your rate structure? Choose all that apply.	Does your system have different rate structures for any of the following situations? Choose all that apply.	Do you charge a base rate?	Rank the following considerations for rate setting to reflect your utility's priorities from least important to most important.				OPTIONAL: Use this space to provide any comments about your utility's water rates, structure, customers, etc. If you post your rates online, please consider entering the link to the rates here for those who wish to view more detail.
												Full cost recovery/revenue stability	Encouraging conservation	Fostering business friendly practices	Maintaining affordability	
UPPER BLUE SANITATION DISTRICT	No															
Simla, Town of	Yes	324	625	\$47.00	\$37.25	6,000	No		Tiered, uniform rate ("constant per unit price for all related units of water consumed on a year-round basis". For example \$1 per 1,000 gallons for usage of any amount.) Seasonal rates ("cover a specific time period. They are established to encourage conservation during peak use periods")	In-boundary versus out-of-boundary users	Yes					DOLA note: updated the percentage of residential users according to email confirmation from the Town.
Cashiers Sanitation Water District	Yes	625	1,000	\$45.00	\$45.00	5,000	No		Flat rate ("all customers are charged the same fee, regardless of the amount of water used")	Customer class (for example, residential versus commercial customers), Tap size	No	Most important	Somewhat important	Not very important	Least important	
Bayliner, Town of	No								Tiered, increasing block rate ("the unit price of each succeeding block of usage is charged at a higher unit rate than the previous block(s)")							
Woodland Park, City of	Yes	3,900	9,750	\$96.11	\$34.81	4,000	Yes		Tiered, increasing block rate ("the unit price of each succeeding block of usage is charged at a higher unit rate than the previous block(s)")	Customer class (for example, residential versus commercial customers)	No	Most important	Somewhat important	Least important	Not very important	
Essex, Town of	Yes	140	235	\$32.00	\$38.00	15,000	No		Tiered, increasing block rate ("the unit price of each succeeding block of usage is charged at a higher unit rate than the previous block(s)")	No, rates are the same for all customers	Yes	Most important	Somewhat important	Least important	Not very important	
ALMA, TOWN OF	Yes	212	300	\$50.00	\$48.00	2,000	No		Tiered, increasing block rate ("the unit price of each succeeding block of usage is charged at a higher unit rate than the previous block(s)")	Tap size	Yes	Most important	Least important	Not very important	Somewhat important	
Grand Lake, Town of	Yes	1,100	440	\$49.00	\$52.00	8,000	No		Tiered, uniform rate ("constant per unit price for all related units of water consumed on a year-round basis". For example \$1 per 1,000 gallons for usage of any amount.)	In-boundary versus out-of-boundary users	Yes	Somewhat important	Not very important	Least important	Most important	
Bye, Town of	Yes	121	250	\$60.00	\$48.00	5,000	No		Tiered, uniform rate ("constant per unit price for all related units of water consumed on a year-round basis". For example \$1 per 1,000 gallons for usage of any amount.) Tiered, increasing block rate ("the unit price of each succeeding block of usage is charged at a higher unit rate than the previous block(s)")	Customer class (for example, residential versus commercial customers), Tap size	Yes	Most important	Not very important	Least important	Somewhat important	
Starkeville, Town of	Yes	75	100	\$45.00	\$45.00	3,400	No		Flat rate ("all customers are charged the same fee, regardless of the amount of water used")	No, rates are the same for all customers	Yes	Most important				
									Flat rate ("all customers are charged the same fee, regardless of the amount of water used"). Water budget-based rates ("households are given a "water budget" based on the anticipated needs of that household either by the number of people living in the house and/or property size. Users are charged a certain rate for use within their budget and a higher rate for use that exceeds their budget")							DOLA note: to standardize responses the following note from the respondent was moved from the question about rate structure and moved here: "No, rates are the same for all customers". The Town confirmed in email "Our rates are \$27 per cubic foot for residential customers and \$88 per cubic foot for commercial customers."
Williamsburg, Town of	Yes	266	770	\$62.87	\$91.15	8,500	Yes		Tiered, uniform rate ("constant per unit price for all related units of water consumed on a year-round basis". For example \$1 per 1,000 gallons for usage of any amount.)	Customer class (for example, residential versus commercial customers)	No	Most important	Least important	Not very important	Somewhat important	
									Tiered, increasing block rate ("the unit price of each succeeding block of usage is charged at a higher unit rate than the previous block(s)")							DOLA note: to standardize responses the following note from the respondent was moved from the question about rate structure and moved here: "No, rates are the same for all customers". The Town confirmed in email "Our rates are \$27 per cubic foot for residential customers and \$88 per cubic foot for commercial customers."
Cokeville, Town of	Yes	87	150	\$94.00	\$27.00	2,804	No		Tiered, uniform rate ("constant per unit price for all related units of water consumed on a year-round basis". For example \$1 per 1,000 gallons for usage of any amount.)	Customer class (for example, residential versus commercial customers)	No	Most important	Least important	Not very important	Somewhat important	
Mt. Crooked Butte Water & Sanitation District	Yes	935	3,546	\$84.00	\$54.30	4,000	Yes		Tiered, increasing block rate ("the unit price of each succeeding block of usage is charged at a higher unit rate than the previous block(s)")	Different defined service areas	Yes	Most important	Not very important	Least important	Somewhat important	
North Table Mountain Water & Sanitation	Yes	4,500	10,000	\$43.45	\$48.84	10,330	No		Tiered, increasing block rate ("the unit price of each succeeding block of usage is charged at a higher unit rate than the previous block(s)")	Customer class (for example, residential versus commercial customers), Tap size	No	Most important	Somewhat important	Least important	Not very important	
Glendale, City of	Yes	269	4,400	\$89.15	\$51.41	3,837	Yes		Tiered, increasing block rate ("the unit price of each succeeding block of usage is charged at a higher unit rate than the previous block(s)")	Customer class (for example, residential versus commercial customers), Tap size	Yes	Somewhat important	Least important	Most important	Not very important	
Parkville Water District	Yes	2,600	8,000	\$85.36	\$52.00	4,000	No		Tiered, uniform rate ("constant per unit price for all related units of water consumed on a year-round basis". For example \$1 per 1,000 gallons for usage of any amount.)	Tap size, In-boundary versus out-of-boundary users	Yes	Most important	Somewhat important	Least important	Not very important	
Akron, Town of	Yes	839	2,046	\$35.50	\$32.58	8,538	No		Flat rate ("all customers are charged the same fee, regardless of the amount of water used")	Customer class (for example, residential versus commercial customers), In-boundary versus out-of-boundary users	Yes	Most important	Not very important	Least important	Somewhat important	
Minikon, Town of	Yes	750	1,100	\$125.00	\$125.00	4,100	Yes		Flat rate ("all customers are charged the same fee, regardless of the amount of water used")	In-boundary versus out-of-boundary users	Yes	Most important	Not very important	Least important	Somewhat important	
Berkley Water and Sanitation District	No															
									Flat rate ("all customers are charged the same fee, regardless of the amount of water used"). Tiered, increasing block rate ("the unit price of each succeeding block of usage is charged at a higher unit rate than the previous block(s)")	Customer class (for example, residential versus commercial customers), Tap size, In-boundary versus out-of-boundary users	Yes	Somewhat important	Not very important	Most important	Least important	DOLA note: to standardize responses the following note from the respondent was moved from the question about rate structure and moved here: "Residential is tiered, commercial is flat". Also added "Flat rate" to the rate structure answer. Also, corrected average residential water consumption per email confirmation with Town. https://www.franciscocountywater.com/156396-2-2020
Frederic, Town of	Yes	1,700	2,250	\$66.00	\$55.00	3,000	No		Tiered, increasing block rate ("the unit price of each succeeding block of usage is charged at a higher unit rate than the previous block(s)")	Customer class (for example, residential versus commercial customers), Tap size, In-boundary versus out-of-boundary users	Yes	Somewhat important	Not very important	Most important	Least important	
Ridgewood Water District	Yes	66	200	\$509.40	\$60.50	3,000	No		Tiered, increasing block rate ("the unit price of each succeeding block of usage is charged at a higher unit rate than the previous block(s)")	No, rates are the same for all customers	Yes	Somewhat important	Most important	Least important	Not very important	
									Flat rate ("all customers are charged the same fee, regardless of the amount of water used"). Tiered, uniform rate ("constant per unit price for all related units of water consumed on a year-round basis". For example \$1 per 1,000 gallons for usage of any amount.)	Customer class (for example, residential versus commercial customers), Tap size	Yes	Most important	Not very important	Least important	Somewhat important	
Julienburg, Town of	Yes	550	1,280	\$30.27	\$30.77	12,000	Yes		Tiered, uniform rate ("constant per unit price for all related units of water consumed on a year-round basis". For example \$1 per 1,000 gallons for usage of any amount.)	Customer class (for example, residential versus commercial customers), In-boundary versus out-of-boundary users	Yes	Somewhat important	Least important	Not very important	Most important	
Pritchett, Town of	Yes	125	103	\$36.40	\$30.00	5,000	No		Flat rate ("all customers are charged the same fee, regardless of the amount of water used")	No, rates are the same for all customers	No	Most important	Somewhat important	Least important	Not very important	
Heaney Water District	Yes	73	200	\$35.42	\$35.42	25,000	No		Water budget-based rates ("households are given a "water budget" based on the anticipated needs of that household either by the number of people living in the house and/or property size. Users are charged a certain rate for use within their budget and a higher rate for use that exceeds their budget")	Customer class (for example, residential versus commercial customers), In-boundary versus out-of-boundary users	Yes	Most important	Somewhat important	Least important	Not very important	https://www.pineapple.com/156396-2-2020
Greenville, City of	Yes	28,514	106,690	\$70.93	\$70.80	10,000	No		Tiered, uniform rate ("constant per unit price for all related units of water consumed on a year-round basis". For example \$1 per 1,000 gallons for usage of any amount.)	Customer class (for example, residential versus commercial customers)	Yes	Most important	Least important	Not very important	Somewhat important	DOLA note: to standardize responses the following note from the respondent was moved from the question about rate structure and moved here: "Our base rate for initial 6,500 gal. is \$21,000 in weeks of flat". Also added Tiered, uniform to the rate structure answer based on this comment.
									Tiered, increasing block rate ("the unit price of each succeeding block of usage is charged at a higher unit rate than the previous block(s)")	No, rates are the same for all customers	Yes	Most important	Somewhat important	Least important	Not very important	
Mass Water & Sanitation District	Yes	75	200	\$49.75	\$47.75	8,880	No		Tiered, uniform rate ("constant per unit price for all related units of water consumed on a year-round basis". For example \$1 per 1,000 gallons for usage of any amount.)	Customer class (for example, residential versus commercial customers)	Yes	Most important	Least important	Not very important	Somewhat important	
Dillon, Town of	Yes	1,831	1,070	\$95.19	\$66.42	4,000	No		Tiered, increasing block rate ("the unit price of each succeeding block of usage is charged at a higher unit rate than the previous block(s)")	No, rates are the same for all customers	Yes	Most important	Somewhat important	Least important	Not very important	
Timbers Water and Sanitation District	Yes	79	195	\$82.25	\$82.25	No			Flat rate ("all customers are charged the same fee, regardless of the amount of water used")	No, rates are the same for all customers	No				Most important	
									Tiered, uniform rate ("constant per unit price for all related units of water consumed on a year-round basis". For example \$1 per 1,000 gallons for usage of any amount.)	Customer class (for example, residential versus commercial customers), Tap size, In-boundary versus out-of-boundary users, Different defined service areas	Yes	Most important	Least important	Not very important	Somewhat important	https://www.pineapple.com/156396-2-2020
Essex Park, Town of	Yes	5,550	17,000	\$99.72	\$61.58	3,750	No		Tiered, uniform rate ("constant per unit price for all related units of water consumed on a year-round basis". For example \$1 per 1,000 gallons for usage of any amount.)	Customer class (for example, residential versus commercial customers), Tap size, In-boundary versus out-of-boundary users, Different defined service areas	Yes	Most important	Least important	Not very important	Somewhat important	
									Tiered, uniform rate ("constant per unit price for all related units of water consumed on a year-round basis". For example \$1 per 1,000 gallons for usage of any amount.)							DOLA note: to standardize responses the following note from the respondent was moved from the question about rate structure and moved here: "charged rates if used over usage allowance". Also added Tiered, uniform to the rate structure answer based on this comment and an email from the District clarifying "The billing system calculates the average charge per gallon. Anything over 14,000 gals is considered average. Usually calculation is at number of days per month divided by base rate. 14,000 is charged at \$42 per month."
San Luis Water & Sanitation District South Overange Sanitation District	No	336	600	\$42.00	\$42.00	8,000	No		Flat rate ("all customers are charged the same fee, regardless of the amount of water used")	No, rates are the same for all customers	Yes	Most important	Not very important	Somewhat important	Least important	DOLA note: percentage of customers that are residential collected per email from the Town
Ophir, Town of	Yes	75	200	\$42.50	\$42.50	10,506	No		Flat rate ("all customers are charged the same fee, regardless of the amount of water used")	No, rates are the same for all customers	Yes	Somewhat important	Most important	Least important	Not very important	

What is the name of the local government you are completing this survey on behalf of?	Does your system provide drinking water service?	How many taps or Equivalent Residential Units (ERUs) does your system serve?	What is the population of your service area?	For residential customers, what is the average monthly bill for 10,000 gallons of use?	For residential customers, what is the average monthly bill based on your customers' average monthly consumption?	For residential customers, what is the average monthly water consumption in gallons?	Do you offer a customer assistance program for users that have difficulty affording their monthly bills?	What percentage of your customers are residential?	What is your rate structure? Choose all that apply.	Does your system have different rate structures for any of the following situations? Choose all that apply.	Do you charge a base rate?	Rank the following considerations for rate setting to reflect your utility's priorities from least important to most important.				OPTIONAL: Use this space to provide any comments about your entity's water rates, structures, customers, etc. If you post your rates online, please consider entering the link to the rates here for those who wish to view more detail.	
												Full cost recovery/revenue stability	Encouraging conservation	Fostering business friendly practices	Maintaining affordability		
Meeker, Town of	Yes		1,180	2,256	\$27.00	\$24.00	8,000	Yes	Flat rate ("all customers are charged the same fee, regardless of the amount of water used"). Tiered, increasing block rate ("the unit price of each succeeding block of usage is charged at a higher unit rate than the previous block(s)").	In-boundary versus out-of-boundary users	Yes	Not very important	Most important	Least important	Somewhat important		
Fruita, City of	No																
Rocky Ford, City of	Yes		1,800	3,000	\$25.00	\$35.00	30,000	No	Tiered, increasing block rate ("the unit price of each succeeding block of usage is charged at a higher unit rate than the previous block(s)").	Customer class (the example, residential versus commercial customers), Tap size, In-boundary versus out-of-boundary users	Yes	Least important	Not very important	Somewhat important	Most important	DOLA note: average monthly residential water use and percentage of residential customers updated per confirmation from the town.	
Brush Water Works District	Yes	165	400	\$300.00	\$140.00	4,200	Yes	Tiered, uniform rate ("constant per unit price for all related units of water consumed on a year-round basis". For example \$1 per 1,000 gallons for usage of any amount). Drought rates (rates adjust "based on the local area's drought level. Higher levels of drought result in higher prices for water in order to encourage conservation").	Customer class (the example, residential versus commercial customers), Tap size	Yes	Most important	Not very important	Least important	Somewhat important	We try to be fiscally responsible, plus we have a high base rate and need to maintain funds for repairs. DOLA note: to standardize responses the following note from the respondent was moved from the question about rate structure and moved here: "Base rate of \$112 includes 500 gal. with 1250gallon above 500". Also added Tiered, uniform to the rate structure answer based on this comment.		
Springfield, Town of	Yes	885	1,378	\$26.00	\$50.50	22,000	No	Tiered, increasing block rate ("the unit price of each succeeding block of usage is charged at a higher unit rate than the previous block(s)").	No, rates are the same for all customers	Yes	Most important	Not very important	Least important	Somewhat important			
Aurora, City of	Yes	88,869	386,502	\$69.61	\$54.73	7,400	Yes	Tiered, increasing block rate ("the unit price of each succeeding block of usage is charged at a higher unit rate than the previous block(s)"). Drought rates (rates adjust "based on the local area's drought level. Higher levels of drought result in higher prices for water in order to encourage conservation").	Customer class (the example, residential versus commercial customers), Tap size, In-boundary versus out-of-boundary users	Yes	Most important	Not very important	Least important	Somewhat important	https://www.aurora.org/residentialrates	https://www.aurora.org/residentialrates	
Walden, Town of	Yes	508	1,000	\$45.50	\$48.48	10,990	No	Tiered, uniform rate ("constant per unit price for all related units of water consumed on a year-round basis". For example \$1 per 1,000 gallons for usage of any amount).	Customer class (the example, residential versus commercial customers), Tap size, In-boundary versus out-of-boundary users	Yes	Most important	Somewhat important	Least important	Not very important			
Boulder, City of	Yes	29,203	105,003	\$60.00	\$45.00	7,800	Yes	Water budget-based rates ("households are given a "water budget" based on the anticipated needs of that household either by the number of people living in the house and/or property size. Users are charged a certain rate for use within that budget and a higher rate for use that exceeds their budget").	Customer class (the example, residential versus commercial customers), Tap size, In-boundary versus out-of-boundary users	Yes	Most important	Not very important	Least important	Somewhat important	https://boulderwaterworks.org/rates		
Las Animas, City of	Yes	1,040	2,139	\$38.34	\$32.47	6,370	Yes	Tiered, increasing block rate ("the unit price of each succeeding block of usage is charged at a higher unit rate than the previous block(s)").	Tap size, In-boundary versus out-of-boundary users	Yes	Most important	Least important	Not very important	Somewhat important			
East Alamosa Water & Sanitation District	Yes	404	1,500	\$79.20	\$68.00	5,000	No	Tiered, increasing block rate ("the unit price of each succeeding block of usage is charged at a higher unit rate than the previous block(s)").	Customer class (the example, residential versus commercial customers), In-boundary versus out-of-boundary users, Different defined service areas	Yes	Most important	Least important	Not very important	Somewhat important			
Vona, Town of	Yes	64	110	\$52.00	\$50.00	7,000	No	Tiered, increasing block rate ("the unit price of each succeeding block of usage is charged at a higher unit rate than the previous block(s)").	Tap size	Yes	Most important	Not very important	Least important	Somewhat important			
Crestview Water & Sanitation District	Yes	6,556	16,390	\$88.50	\$40.48	4,000	No	Tiered, increasing block rate ("the unit price of each succeeding block of usage is charged at a higher unit rate than the previous block(s)").	Customer class (the example, residential versus commercial customers)	Yes	Most important	Somewhat important	Least important	Not very important			
Upper Thompson Sanitation District	No																
Reedborough Water and Sanitation District	Yes	3,750	11,000	\$117.00	\$117.00	11,000	Yes	Flat rate ("all customers are charged the same fee, regardless of the amount of water used"). Tiered, increasing block rate ("the unit price of each succeeding block of usage is charged at a higher unit rate than the previous block(s)").	Customer class (the example, residential versus commercial customers)	Yes	Most important	Somewhat important	Least important	Not very important			
Prairie View Ranch Water District, LLC	Yes	52	135	\$50.00	\$40.00	6,000	No	Tiered, increasing block rate ("the unit price of each succeeding block of usage is charged at a higher unit rate than the previous block(s)").	Yes	Most important	Not very important	Least important	Somewhat important			We currently have no access to the former billing system that was used by the previous directors.	
Dumelson, City of	Yes	2,500	6,250	\$21.00	\$31.42	8,000	No	Tiered, increasing block rate ("the unit price of each succeeding block of usage is charged at a higher unit rate than the previous block(s)").	No, rates are the same for all customers	Yes	Most important	Somewhat important	Not very important	Least important	http://www.dumelson.org/infocenter/infocenter.cfm?infocenter=6		
Fort Lupton, City of	Yes	4,253	7,065	\$84.40	\$73.70	7,840	No	Tiered, increasing block rate ("the unit price of each succeeding block of usage is charged at a higher unit rate than the previous block(s)").	No, rates are the same for all customers	Yes	Most important					DOLA note: updated number of taps per email from the Town.	
PADONIA, TOWN OF	Yes	1,110	1,300	\$74.30	\$45.00					Yes							
Brighton, City of	Yes	11,000	41,000	\$60.17	\$56.65	9,422	Yes	Tiered, increasing block rate ("the unit price of each succeeding block of usage is charged at a higher unit rate than the previous block(s)").	Customer class (the example, residential versus commercial customers), Tap size	Yes	Most important	Not very important	Least important	Somewhat important	http://www.brightonwater.org/025145		
Morgan County Quality Water District	Yes	4,000	8,000	\$48.04	\$32.80	12,000	No	Tiered, increasing block rate ("the unit price of each succeeding block of usage is charged at a higher unit rate than the previous block(s)").	No, rates are the same for all customers	Yes	Most important	Not very important	Least important	Somewhat important			
Cherry Creek Valley Water and Sanitation District	Yes	2,300	20,000	\$51.10	\$50.50	12,000	No	Flat rate ("all customers are charged the same fee, regardless of the amount of water used").	No, rates are the same for all customers	Yes	Most important	Not very important	Least important	Somewhat important		DOLA note: updated the average residential monthly water consumption per District confirmation.	
Nederland, Town of	Yes	717	1,548	\$104.50	\$43.18	3,000	Yes	Tiered, increasing block rate ("the unit price of each succeeding block of usage is charged at a higher unit rate than the previous block(s)").	Customer class (the example, residential versus commercial customers)	Yes	Most important	Somewhat important					
Edgewater, City of	No																
Johnstown, Town of	Yes	5,800	17,380	\$53.78	\$53.78	10,000	Yes	Tiered, increasing block rate ("the unit price of each succeeding block of usage is charged at a higher unit rate than the previous block(s)").	Tap size, In-boundary versus out-of-boundary users	Yes	Most important	Least important	Not very important	Somewhat important	http://johnstowncolorado.gov/Residential		
Silver Heights Water & Sanitation	Yes	120	1,000	\$125.00	\$60.00	3,000		Tiered, increasing block rate ("the unit price of each succeeding block of usage is charged at a higher unit rate than the previous block(s)").	Customer class (the example, residential versus commercial customers), Tap size	Yes	Most important	Somewhat important	Not very important	Least important		Rate structure is on web site: silverheights.org	
Bethune, Town of	Yes	88	212	\$20.00	\$40.00		No	Tiered, decreasing block rate ("each succeeding block of usage is charged at a lower unit rate than the previous block(s)").	No, rates are the same for all customers	Yes	Most important	Not very important	Least important	Somewhat important			
Pueblo West Metropolitan District	Yes	13,000	35,000	\$30.00	\$60.00	20,000	No	Tiered, increasing block rate ("the unit price of each succeeding block of usage is charged at a higher unit rate than the previous block(s)").	Customer class (the example, residential versus commercial customers), Tap size	Yes	Somewhat important	Most important	Least important	Not very important		DOLA note: rate structure updated per District email confirmation. Customers are charged "a base rate with an increasing for rates" and it "applies to all customers."	
Hazlet Heights Water	Yes	88	275	\$60.00	\$60.00	10,000	No	Tiered, increasing block rate ("the unit price of each succeeding block of usage is charged at a higher unit rate than the previous block(s)").	No, rates are the same for all customers	Yes	Most important	Not very important	Least important	Somewhat important			
Silver Creek Water and Sanitation District	Yes	589	1,473	\$84.21	\$84.21	3,000	No	Flat rate ("all customers are charged the same fee, regardless of the amount of water used").	No, rates are the same for all customers	Yes	Most important	Least important	Not very important	Somewhat important		many of our customers are second home owners and this is their vacation home or short term rental property.	
Florissant Water & Sanitation District	Yes	88	200	\$179.20	\$148.70	1,000	No	Flat rate ("all customers are charged the same fee, regardless of the amount of water used"). Tiered, uniform rate ("constant per unit price for all related units of water consumed on a year-round basis". For example \$1 per 1,000 gallons for usage of any amount). Tiered, increasing block rate ("the unit price of each succeeding block of usage is charged at a higher unit rate than the previous block(s)").	Customer class (the example, residential versus commercial customers), Tap size, In-boundary versus out-of-boundary users	Yes	Most important	Least important	Not very important	Somewhat important	website: www.florissantwaterdistrict.org/DOLA note removed?		
Bone Mesa Domestic Water District	Yes	157	400	\$50.00	\$60.00	10,000	No	Tiered, increasing block rate ("the unit price of each succeeding block of usage is charged at a higher unit rate than the previous block(s)").	No, rates are the same for all customers	Yes	Most important	Somewhat important				we have a set rate for 1000 Cubic feet and charge per 100 Cubic feet after the 1000	
Rangely, Town of	Yes	1,200	2,400	\$58.50	\$48.63	7,500	Yes	Tiered, uniform rate ("constant per unit price for all related units of water consumed on a year-round basis". For example \$1 per 1,000 gallons for usage of any amount). Drought rates (rates adjust "based on the local area's drought level. Higher levels of drought result in higher prices for water in order to encourage conservation").	Customer class (the example, residential versus commercial customers), Tap size	Yes	Most important	Somewhat important	Not very important	Least important			
Parachute, Town of	Yes	419	1,124	\$80.40	\$44.88	179	Yes	Tiered, increasing block rate ("the unit price of each succeeding block of usage is charged at a higher unit rate than the previous block(s)").	Customer class (the example, residential versus commercial customers), In-boundary versus out-of-boundary users	Yes	Somewhat important	Not very important	Least important	Most important		DOLA note: The Town confirmed that the average monthly residential water use is 175 gallons.	
Fourteen Mile Canyon District	No																
Somerset Domestic Waterworks District	Yes	59	100	\$168.00	\$150.00	1,557	No	Seasonal rates ("cover a specific time period. They are established to encourage conservation during peak use periods").	Customer class (the example, residential versus commercial customers)	Yes	Most important	Not very important	Least important	Somewhat important		Our district is about to have a TMR and rate study completed so this information will be out of date by 2022.	
Pinon Water & Sanitation District	Yes	26	75	\$40.00	\$58.00	10,000	No	Tiered, uniform rate ("constant per unit price for all related units of water consumed on a year-round basis". For example \$1 per 1,000 gallons for usage of any amount).	Customer class (the example, residential versus commercial customers), Tap size	Yes						we have a set rate for 1000 Cubic feet and charge per 100 Cubic feet after the 1000	
Crawford, Town of	Yes	300	487	\$25.90	\$28.75	10,840	No	Tiered, uniform rate ("constant per unit price for all related units of water consumed on a year-round basis". For example \$1 per 1,000 gallons for usage of any amount). Drought rates (rates adjust "based on the local area's drought level. Higher levels of drought result in higher prices for water in order to encourage conservation").	Customer class (the example, residential versus commercial customers), In-boundary versus out-of-boundary users	Yes	Most important	Not very important	Least important	Somewhat important	DOLA note: to standardize responses the following note from the respondent was moved from the question about rate structure and moved here: "Current rate includes a monthly allotment of water (15,000 gallons). Customers pay 1.00/1000 gallons afterwards". Also added Tiered, uniform to the rate structure answer based on this comment. Corrected percentage of residential customers per Town email.		
Tabernash Meadows Water & Sanitation District	Yes	200	450	\$73.00	\$66.00	5,000	No	Flat rate ("all customers are charged the same fee, regardless of the amount of water used").	Tap size, In-boundary versus out-of-boundary users	No	Most important	Somewhat important	Least important	Not very important		http://www.tabernashwaterdistrict.org/025145	http://www.tabernashwaterdistrict.org/025145

What is the name of the local government you are completing this survey on behalf of?	Does your system provide drinking water service?	How many taps or Equivalent Residential Units (ERUs) does your system serve?	What is the population of your service area?	For residential customers, what is the average monthly bill for 10,000 gallons of use?	For residential customers, what is the average monthly bill based on your customers' average monthly consumption?	For residential customers, what is the average monthly water consumption in gallons?	Do you offer a customer assistance program for users that have difficulty affording their monthly bills?	What percentage of your customers are residential?	What is your rate structure? Choose all that apply.	Does your system have different rate structures for any of the following situations? Choose all that apply.	Do you charge a base rate?	Rank the following considerations for rate setting to reflect your utility's priorities from least important to most important.				OPTIONAL: Use this space to provide any comments about your entity's water rates, structure, customers, etc. If you post your rates online, please consider entering the link to the rates here for those who wish to view more detail.
												Full cost recovery/revenue stability	Encouraging conservation	Fostering business friendly practices	Maintaining affordability	
Left Hand Water District Pueblo, City of	Yes	6,374	21,355	\$85.54	\$108.10	14,000	Yes	83%	Tiered, increasing block rate ("The unit price of each succeeding block of usage is charged at a higher unit rate than the previous block(s)");	Customer class (the example, residential versus commercial customers), Tap size	Yes	Most important	Not very important	Least important	Somewhat important	The question above which asks us to rank from least to most important is misleading since I would consider three of them with equal importance and Full Cost Recovery as most important. http://lefthandwater.org/utility-billing/utility-water-rates/ DOLA note to standardize responses the following note from the respondent was moved from the question about rate structure and moved here: "Basic Service fee by tap size but not volume rates". Added tap size to the rate structure answer based on this comment.
South Adams City WSD	Yes	31,000	65,000	\$100.00	\$90.00	8,000	No	80%	Tiered, increasing block rate ("The unit price of each succeeding block of usage is charged at a higher unit rate than the previous block(s)");	Customer class (the example, residential versus commercial customers), In-boundary versus out-of-boundary users	Yes	Most important	Least important	Not very important	Somewhat important	DOLA note: updated the percentage of residential customers per District email.
Aguilera, Town of Mesa Verde Sanitation District	Yes	442	1,108	\$50.50	\$33.00	5,000	No	90%	Tiered, increasing block rate ("The unit price of each succeeding block of usage is charged at a higher unit rate than the previous block(s)");	Tap size, In-boundary versus out-of-boundary users, No, rates are the same for all customers	Yes	Least important			Somewhat important	
Engineered Utilities, City of Pueblo Sanitation District	Yes	13,981	35,000	\$49.20	\$38.40	6,000	Yes	82%	Flat rate ("All customers are charged the same fee, regardless of the amount of water used"); Tiered, uniform rate ("Constant per unit price for all material units of water consumed on a year-round basis". For example \$1 per 1,000 gallons for usage of any amount.);	In-boundary versus out-of-boundary users	Yes	Most important	Least important	Not very important	Somewhat important	http://www.engineeredutilities.com/pueblo-sanitation-district-rates
Wiggins, Town of	Yes	64	1,800	\$101.50	\$110.81	12,840	No	91%	Flat rate ("All customers are charged the same fee, regardless of the amount of water used"); Tiered, uniform rate ("Constant per unit price for all material units of water consumed on a year-round basis". For example \$1 per 1,000 gallons for usage of any amount.);	Customer class (the example, residential versus commercial customers), In-boundary versus out-of-boundary users	Yes	Most important	Least important	Not very important	Somewhat important	
Craig, City of	Yes	3,874	9,504	\$81.30	\$50.00	7,000	No	80%	Flat rate ("All customers are charged the same fee, regardless of the amount of water used"); Tiered, uniform rate ("Constant per unit price for all material units of water consumed on a year-round basis". For example \$1 per 1,000 gallons for usage of any amount.);	In-boundary versus out-of-boundary users	Yes	Somewhat important	Least important	Most important	Not very important	City's website (www.ci.craig.co.us) lists all rates and fees.
Byers Water & Sanitation District	Yes	550	1,000	\$46.25	\$52.75	10,000	No	90%	Flat rate ("All customers are charged the same fee, regardless of the amount of water used");	Customer class (the example, residential versus commercial customers), In-boundary versus out-of-boundary users	No	Most important	Not very important	Least important	Somewhat important	
Doniphan Water and Sanitation District Beard, Town of	Yes	1,200	3,000	\$120.00	\$200.00	No	No	90%	Flat rate ("All customers are charged the same fee, regardless of the amount of water used"); Tiered, increasing block rate ("The unit price of each succeeding block of usage is charged at a higher unit rate than the previous block(s)");	Customer class (the example, residential versus commercial customers), Tap size	Yes	Most important	Somewhat important	Least important	Not very important	
Oak Creek, Town of	Yes	486	870	\$110.40	\$122.22	12,800	Yes	92%	Flat rate ("All customers are charged the same fee, regardless of the amount of water used"); Tiered, increasing block rate ("The unit price of each succeeding block of usage is charged at a higher unit rate than the previous block(s)");	Tap size, In-boundary versus out-of-boundary users	Yes	Most important	Not very important	Least important	Somewhat important	Some water customers are not metered; these customers pay a flat rate.
Antonito, Town of	Yes	401	800	\$17.50	\$17.50	11,000	No	80%	Tiered, uniform rate ("Constant per unit price for all material units of water consumed on a year-round basis". For example \$1 per 1,000 gallons for usage of any amount.);	Customer class (the example, residential versus commercial customers), In-boundary versus out-of-boundary users	Yes		Somewhat important			
Shannon Water and Sanitation District	Yes	150	398	\$51.00	\$65.00	16,000	No	100%	Tiered, increasing block rate ("The unit price of each succeeding block of usage is charged at a higher unit rate than the previous block(s)");	No, rates are the same for all customers	Yes	Most important	Not very important	Least important	Somewhat important	
Palladae, Town of	Yes	1,370	3,000	\$50.40	\$40.10	No	No	90%	Tiered, increasing block rate ("The unit price of each succeeding block of usage is charged at a higher unit rate than the previous block(s)");	No, rates are the same for all customers	Yes	Most important	Somewhat important	Least important	Not very important	
Gypsum, Town of Kremmling Sanitation District	Yes	2,680	8,000	\$26.97	\$26.97	10,000	No	90%	Flat rate ("All customers are charged the same fee, regardless of the amount of water used"); Drought rates (rates adjust "based on the local area's drought level. Higher levels of drought result in higher prices for water in order to encourage conservation");	Customer class (the example, residential versus commercial customers)	Yes	Most important	Somewhat important	Not very important	Least important	
Chipewa Water District	Yes	1,720	4,300	\$43.00	\$40.42	6,300	No	90%	Tiered, increasing block rate ("The unit price of each succeeding block of usage is charged at a higher unit rate than the previous block(s)");	No, rates are the same for all customers	Yes	Most important	Least important	Not very important	Somewhat important	
Keenesburg, Town of	Yes	770	2,500	\$43.64	\$43.64	10,000	No	90%	Tiered, uniform rate ("Constant per unit price for all material units of water consumed on a year-round basis". For example \$1 per 1,000 gallons for usage of any amount.); Tiered, increasing block rate ("The unit price of each succeeding block of usage is charged at a higher unit rate than the previous block(s)");	Tap size	Yes	Somewhat important	Least important	Not very important	Most important	
Durango West Metro District No. 2 Cherry Hill Sanitation District	Yes	386	1,010	\$98.00	\$78.00	No	No	90%	Tiered, increasing block rate ("The unit price of each succeeding block of usage is charged at a higher unit rate than the previous block(s)");	No, rates are the same for all customers	Yes	Most important	Not very important	Least important	Somewhat important	DOLA note: rate structure updated per District email confirmation. Customers are charged "a base rate with increasing block rates based on usage over the base allotment".
Central City, City of St Vrain Sanitation District	Yes	370	800	\$124.10	\$90.72	3,000	Yes	90%	Tiered, increasing block rate ("The unit price of each succeeding block of usage is charged at a higher unit rate than the previous block(s)");	Customer class (the example, residential versus commercial customers), Tap size	Yes	Most important	Not very important	Least important	Somewhat important	DOLA note: to standardize responses the following note from the respondent was moved from the question about rate structure and moved here: "Basic rate, plus service line maint. fee, plus capital improvements fee, plus fixed increasing block usage rate". Added fixed, increasing rate to the rate structure answer based on this comment. Updated percentage of residential users based on email confirmation from City.
Crested Butte, Town of	Yes	1,200	1,600	\$31.00	\$71.50	No	No	90%	Tiered, increasing block rate ("The unit price of each succeeding block of usage is charged at a higher unit rate than the previous block(s)");	Customer class (the example, residential versus commercial customers), Tap size, In-boundary versus out-of-boundary users	Yes	Somewhat important	Most important	Not very important	Least important	
Eaton, Town of Aspen Park Sanitation District	Yes	2,380	6,200	\$80.10	\$80.82	10,100	No	90%	Tiered, uniform rate ("Constant per unit price for all material units of water consumed on a year-round basis". For example \$1 per 1,000 gallons for usage of any amount.);		Yes	Most important	Least important	Not very important	Somewhat important	
East Cherry Creek Valley Water & Sanitation District	Yes	21,000	52,000	\$85.50	\$85.50	10,000	No	80%	Flat rate ("All customers are charged the same fee, regardless of the amount of water used"); Tiered, increasing block rate ("The unit price of each succeeding block of usage is charged at a higher unit rate than the previous block(s)");	Tap size	Yes	Most important	Somewhat important	Least important	Not very important	http://www.eccvwsd.org
Grand Junction, City of	Yes	9,900	30,000	\$43.60	\$33.00	7,000	No	80%	Tiered, increasing block rate ("The unit price of each succeeding block of usage is charged at a higher unit rate than the previous block(s)");	No, rates are the same for all customers	Yes	Most important	Not very important	Least important	Somewhat important	http://www.gjwsd.org/14118/Rate
Lamar, City of	Yes	3,398	7,504	\$27.50	\$29.50	1,800	No	80%	Tiered, decreasing block rate ("Each succeeding block of usage is charged at a lower unit rate than the previous block(s)");	Customer class (the example, residential versus commercial customers), Tap size, In-boundary versus out-of-boundary users	Yes	Most important	Not very important	Least important	Somewhat important	
Eagle River Water & Sanitation District	Yes	3,160	7,000	\$63.71	\$51.30	6,000	No	80%	Tiered, increasing block rate ("The unit price of each succeeding block of usage is charged at a higher unit rate than the previous block(s)");	No, rates are the same for all customers	Yes	Most important	Somewhat important	Least important	Not very important	http://www.evrwsd.org/wp-content/uploads/2016/04/DOLA-note-average-monthly-residential-water-consumption-updated-as-confirmed-by-District-email
Sunset Water District	Yes	170	420	\$77.94	\$51.86	3,500	No	90%	Tiered, increasing block rate ("The unit price of each succeeding block of usage is charged at a higher unit rate than the previous block(s)");	No, rates are the same for all customers	Yes	Least important	Most important	Not very important	Somewhat important	It was somewhat difficult to assess the monthly information since the Sunset Water District bills out quarterly and does have a base rate up to 6,000 gallons for the quarter. Did averages as best we could.
Northglenn, City of	Yes	9,720	38,410	\$59.22	\$38.50	No	No	90%	Tiered, increasing block rate ("The unit price of each succeeding block of usage is charged at a higher unit rate than the previous block(s)"); Drought rates (rates adjust "based on the local area's drought level. Higher levels of drought result in higher prices for water in order to encourage conservation");	Customer class (the example, residential versus commercial customers), Tap size	Yes	Not very important	Somewhat important	Least important	Most important	Average bill is for water and sewer. http://www.northglenn.org/employees/utility_rates.php DOLA note: confirmed that \$29.22 and \$28.92 are for water use only.

NEW Town of Rico - General Fund
Comparative Income Statement to Budget
For the Six Months Ending June 30, 2022

	YEAR TO DATE ACTUAL	ANNUAL BUDGET	YEAR to DATE VARIANCE	CURRENT MONTH ACTUAL	PERCENTAGE FAV (UNFAV)
Revenues - Operating					
Developmnet Securities	\$ 92,500.00	\$ 0.00	92,500.00	5,000.00	0.00
Property Tax	65,368.59	86,100.00	(20,731.41)	7,199.89	75.92
Sales & Use Tax	100,891.67	126,752.00	(25,860.33)	14,712.75	79.60
SO Tax	2,209.24	4,000.00	(1,790.76)	438.41	55.23
Cigarette Tax	113.35	190.00	(76.65)	0.00	59.66
Mineral Leasing	0.00	5,000.00	(5,000.00)	0.00	0.00
Del Tax & Interest	692.20	200.00	492.20	161.20	346.10
Payroll Transfer Funds	67,168.91	129,000.00	(61,831.09)	12,663.73	52.07
Motor Vehicle Tax	394.64	1,500.00	(1,105.36)	0.00	26.31
Building Permits	2,551.99	5,000.00	(2,448.01)	545.00	51.04
Development Applications	925.00	20,000.00	(19,075.00)	175.00	4.63
Business Licenses	375.00	200.00	175.00	0.00	187.50
Dog Licenses	120.00	100.00	20.00	20.00	120.00
Interest	265.80	475.00	(209.20)	48.51	55.96
Reimbursements	0.00	0.00	0.00	(224.00)	0.00
Fines	7,277.00	10,000.00	(2,723.00)	1,992.00	72.77
Miscellaneous	236.83	0.00	236.83	0.00	0.00
Septic Permit	420.00	375.00	45.00	420.00	112.00
Lodging Tax	1,322.73	0.00	1,322.73	108.70	0.00
Rent	2,400.00	5,400.00	(3,000.00)	0.00	44.44
Contract Labor Transfer	0.00	8,000.00	(8,000.00)	0.00	0.00
Attorney Pass Thru	194,050.13	75,000.00	119,050.13	0.00	258.73
SMPA Dividend Check	2,495.90	400.00	2,095.90	0.00	623.98
Total Revenues - Operating	541,778.98	477,692.00	64,086.98	43,261.19	113.42
Expenses - Operating					
Town Clean Up Day	0.00	(6,000.00)	6,000.00	0.00	0.00
Building Inspector	0.00	(5,000.00)	5,000.00	0.00	0.00
Town Administrator	(35,000.04)	(70,000.00)	34,999.96	(5,833.34)	50.00
Town Clerk	(19,708.37)	(43,000.00)	23,291.63	(3,583.34)	45.83
Payroll Transfer	(12,848.83)	(35,000.00)	22,151.17	0.00	36.71
Public Works	(19,338.57)	(37,000.00)	17,661.43	(3,750.00)	52.27
Employee Benefits - Health	(12,241.40)	(38,000.00)	25,758.60	260.00	32.21
Professional - Town Attorney	(19,678.00)	(20,000.00)	322.00	(3,352.50)	98.39
Town Planner	(1,460.26)	(20,000.00)	18,539.74	(242.51)	7.30
POST Maintenance/Ice	(3,280.00)	(8,900.00)	5,620.00	(1,810.00)	36.85
Professional - Auditor	0.00	(12,000.00)	12,000.00	0.00	0.00
Attorney Pass Thru	(114,502.78)	(75,000.00)	(39,502.78)	0.00	152.67
Municipal Court Judge	(2,250.00)	(4,500.00)	2,250.00	(375.00)	50.00

For Management Purposes Only

NEW Town of Rico - General Fund
Comparative Income Statement to Budget
For the Six Months Ending June 30, 2022

	YEAR TO DATE ACTUAL	ANNUAL BUDGET	YEAR to DATE VARIANCE	CURRENT MONTH ACTUAL	PERCENTAGE FAV (UNFAV)
Town Marshall	(6,440.00)	(30,000.00)	23,560.00	(840.00)	21.47
POST - Groomer	0.00	(7,000.00)	7,000.00	0.00	0.00
Website Maintenance	0.00	(2,000.00)	2,000.00	0.00	0.00
Fuel	(816.67)	(3,500.00)	2,683.33	(149.47)	23.33
Advertisement/Agenda & Notice	0.00	(2,000.00)	2,000.00	0.00	0.00
Insurance	(10,832.44)	(5,200.00)	(5,632.44)	(4,275.79)	208.32
Supplies	(3,822.71)	(12,000.00)	8,177.29	443.44	31.86
Town Marshal Vehicle	0.00	(25,000.00)	25,000.00	0.00	0.00
Park Administrator	0.00	(5,000.00)	5,000.00	0.00	0.00
Electric	(797.00)	(2,200.00)	1,403.00	(120.00)	36.23
Propane	(2,503.00)	(5,000.00)	2,497.00	(603.00)	50.06
Employee Benefits - Life	0.00	(137.00)	137.00	0.00	0.00
Telephone	(2,099.62)	(6,000.00)	3,900.38	(288.97)	34.99
Utilities - Other	(495.19)	(1,000.00)	504.81	(92.34)	49.52
Employee Benefits - PERA	(11,788.01)	(32,000.00)	20,211.99	(1,873.68)	36.84
Treasurer Fees	(1,312.65)	(2,500.00)	1,187.35	(145.61)	52.51
Dues & Fees	(46.80)	(3,000.00)	2,953.20	(11.70)	1.56
Employees Consideration	0.00	(3,000.00)	3,000.00	0.00	0.00
Pass Thru/Rico Center	(8,300.00)	(3,400.00)	(4,900.00)	0.00	244.12
Travel/Conference Expenses	(4,927.01)	(7,500.00)	2,572.99	(367.01)	65.69
Miscellaneous	(642.00)	(2,000.00)	1,358.00	(560.00)	32.10
Sales & Use Tax	(20,178.24)	(25,350.00)	5,171.76	(2,942.54)	79.60
4th of July	(1,536.70)	(2,500.00)	963.30	(1,536.70)	61.47
Water Technician	(900.00)	(4,000.00)	3,100.00	(200.00)	22.50
Elections	0.00	(3,000.00)	3,000.00	0.00	0.00
Part Time Maintenance	(18,380.00)	(10,000.00)	(8,380.00)	(3,300.00)	183.80
Traffic Fine - Surcharge	0.00	(2,500.00)	2,500.00	0.00	0.00
Total Expenses - Operating	(336,126.29)	(581,187.00)	245,060.71	(35,550.06)	57.83
Net Income - Operating	\$ 205,652.69	\$ (103,495.00)	309,147.69	7,711.13	(198.71)
Revenues - Capital Improvement					
Rico Center Grant - pass thru	\$ 8,300.00	\$ 3,400.00	4,900.00	0.00	244.12
Excise Tax	1,017.50	2,000.00	(982.50)	540.00	50.88
Total Revenues - Capital Improve	9,317.50	5,400.00	3,917.50	540.00	172.55

For Management Purposes Only

NEW Town of Rico - General Fund
Comparative Income Statement to Budget
For the Six Months Ending June 30, 2022

	YEAR TO DATE ACTUAL	ANNUAL BUDGET	YEAR to DATE VARIANCE	CURRENT MONTH ACTUAL	PERCENTAGE FAV (UNFAV)
Expenses - Capital Improvement					
Facilities Improvement	(8,752.07)	(35,000.00)	26,247.93	(7,700.00)	25.01
River Corridor Project	0.00	(5,000.00)	5,000.00	0.00	0.00
Total Expenses - Capital Improve	(8,752.07)	(40,000.00)	31,247.93	(7,700.00)	21.88
Net Income - Capital Improvement	\$ 565.43	\$ (34,600.00)	35,165.43	(7,160.00)	(1.63)
Revenues - Special Projects					
Rico Center/River Corridor	\$ 0.00	\$ 3,000.00	(3,000.00)	0.00	0.00
RC/LUC Amendments/M.P.	0.00	15,000.00	(15,000.00)	0.00	0.00
Total Revenues - Special Projects	0.00	18,000.00	(18,000.00)	0.00	0.00
Expenses - Special Projects					
Community Meetings	0.00	(3,000.00)	3,000.00	0.00	0.00
RC/LUC Amendment/M.P.	(10,757.75)	(10,760.00)	2.25	0.00	99.98
Total Expenses - Special Projects	(10,757.75)	(13,760.00)	3,002.25	0.00	78.18
Net Income - Special Projects	\$ (10,757.75)	\$ 4,240.00	(14,997.75)	0.00	(253.72)
Revenues - Other					
Total Revenues - Other	0.00	0.00	0.00	0.00	0.00
Expenses - Other					
Total Expenses - Other	0.00	0.00	0.00	0.00	0.00
Net Income - Other	\$ 0.00	\$ 0.00	0.00	0.00	0.00
TOTAL NET INCOME	\$ 195,460.37	\$ (133,855.00)	329,315.37	551.13	(146.02)

For Management Purposes Only

NEW Town of Rico - General Fund
 Comparative Income Statement to Budget
For the Six Months Ending June 30, 2022

	YEAR TO DATE ACTUAL	ANNUAL BUDGET	YEAR to DATE VARIANCE	CURRENT MONTH ACTUAL	PERCENTAGE FAV (UNFAV)
Beginning Fund Balance	930,019.01		0.00		
Ending Fund Balance	<u>1,125,479.38</u>	<u>(133,855.00)</u>			

NEW Town of Rico - Open Park Fund
Comparative Income Statement to Budget
For the Six Months Ending June 30, 2022

	YEAR TO DATE ACTUAL	ANNUAL BUDGET	YEAR to DATE BALANCE	CURRENT MONTH ACTUAL	PERCENTAGE FAV (UNFAV)
Revenues - Operating					
Sales & Use Tax	\$ 10,089.12	\$ 15,450.00	(5,360.88)	1,471.27	65.30
Lodging Tax	518.40	900.00	(381.60)	0.00	57.60
Interest	25.05	30.00	(4.95)	4.27	83.50
Excise Tax	477.50	500.00	(22.50)	0.00	95.50
Total Revenues - Operating	11,110.07	16,880.00	(5,769.93)	1,475.54	65.82
Expenses - Operating					
Flowers	(339.76)	(1,500.00)	1,160.24	(339.76)	22.65
Winter Festival	0.00	(1,500.00)	1,500.00	0.00	0.00
Winter Trail Grooming Payroll	(660.00)	(7,000.00)	6,340.00	0.00	9.43
Repairs & Maint. Equipment	0.00	(1,500.00)	1,500.00	0.00	0.00
Insurance	(5,000.00)	(5,000.00)	0.00	0.00	100.00
Supplies	(1,632.78)	(7,500.00)	5,867.22	(470.28)	21.77
Administrator Payroll	0.00	(5,000.00)	5,000.00	0.00	0.00
Ice Rink & Park Maint. Payroll	(1,560.00)	(8,900.00)	7,340.00	(1,310.00)	17.53
Miscellaneous	0.00	(500.00)	500.00	0.00	0.00
Total Expenses - Operating	(9,192.54)	(38,400.00)	29,207.46	(2,120.04)	23.94
Net Income - Operating	\$ 1,917.53	\$ (21,520.00)	23,437.53	(644.50)	(8.91)
Revenues - Capital Improvement					
Total Revenues - Capital Improvement	0.00	0.00	0.00	0.00	0.00
Expenses - Capital Improvement					
Total Expenses - Capital Improvement	0.00	0.00	0.00	0.00	0.00
Net Income - Capital Improvement	\$ 0.00	\$ 0.00	0.00	0.00	0.00

For Management Purposes Only

NEW Town of Rico - Open Park Fund
Comparative Income Statement to Budget
For the Six Months Ending June 30, 2022

	YEAR TO DATE ACTUAL	ANNUAL BUDGET	YEAR to DATE BALANCE	CURRENT MONTH ACTUAL	PERCENTAGE FAV (UNFAV)
Revenues - Special Projects					
Total Revenues - Special Projects	0.00	0.00	0.00	0.00	0.00
Expenses - Special Projects					
Total Expenses - Special Projects	0.00	0.00	0.00	0.00	0.00
Net Income - Special Projects	\$ 0.00	\$ 0.00	0.00	0.00	0.00
Revenues - Other					
Rio Grande Southern Extension	\$ 0.00	\$ 125,000.00	(125,000.00)	0.00	0.00
Total Revenues - Other	0.00	125,000.00	(125,000.00)	0.00	0.00
Expenses - Other					
Rio Grande Southern Extension	0.00	(100,000.00)	100,000.00	0.00	0.00
Total Expenses - Other	0.00	(100,000.00)	100,000.00	0.00	0.00
Net Income - Other	\$ 0.00	\$ 25,000.00	(25,000.00)	0.00	0.00
TOTAL NET INCOME	\$ 1,917.53	\$ 3,480.00	(1,562.47)	(644.50)	55.10
Beginning Fund Balance	101,765.96	0.00			
Ending Fund Balance	103,683.49	3,480.00			

NEW Town of Rico - Sanitation Fund
Comparative Income Statement to Budget
For the Six Months Ending June 30, 2022

	YEAR TO DATE ACTUAL	ANNUAL BUDGET	YEAR to DATE BALANCE	CURRENT MONTH ACTUAL	PERCENTAGE FAV (UNFAV)
Revenues - Operating					
Property Tax	\$ 19,776.26	\$ 26,050.00	(6,273.74)	2,178.21	75.92
Specific Ownership Tax	668.38	800.00	(131.62)	132.63	83.55
Del Tax and Interest	1.95	105.00	(103.05)	1.95	1.86
Interest	55.51	0.00	55.51	9.54	0.00
Total Revenues - Operating	20,502.10	26,955.00	(6,452.90)	2,322.33	76.06
Expenses - Operating					
Septic-Inspector/Training	0.00	(1,200.00)	1,200.00	0.00	0.00
Treasurers Fees	(395.54)	(700.00)	304.46	(43.58)	56.51
Miscellaneous/ Engineering	0.00	(10,000.00)	10,000.00	0.00	0.00
Payroll Transfer	(2,916.65)	(3,250.00)	333.35	(583.33)	89.74
Total Expenses - Operating	(3,312.19)	(15,150.00)	11,837.81	(626.91)	21.86
Net Income - Operating	\$ 17,189.91	\$ 11,805.00	5,384.91	1,695.42	145.62
Revenues - Capital Improve General					
Total Revenues - Capital Improve Gener	0.00	0.00	0.00	0.00	0.00
Expenses - Capital Improve General					
Total Expenses - Capital Improve Gener	0.00	0.00	0.00	0.00	0.00
Net Income - Capital Improve General	\$ 0.00	\$ 0.00	0.00	0.00	0.00
Revenues - Cap Improve - Dept Local Affairs					
Total Revenues - Cap Imp Dept Local A	0.00	0.00	0.00	0.00	0.00

For Management Purposes Only

NEW Town of Rico - Sanitation Fund
Comparative Income Statement to Budget
For the Six Months Ending June 30, 2022

	<u>YEAR TO DATE ACTUAL</u>	<u>ANNUAL BUDGET</u>	<u>YEAR to DATE BALANCE</u>	<u>CURRENT MONTH ACTUAL</u>	<u>PERCENTAGE FAV (UNFAV)</u>
Expenses - Cap Improve - Dept Local Affairs					
Total Expenses - Cap Imp Dept Local Af	<u>0.00</u>	<u>0.00</u>	<u>0.00</u>	<u>0.00</u>	0.00
Net Income - Cap Imp Dept Local Aff	<u>\$ 0.00</u>	<u>\$ 0.00</u>	<u>0.00</u>	<u>0.00</u>	0.00
Revenues - Cap Improve - USDA Devel Loan					
Total Revenues - Capital Improvement	<u>0.00</u>	<u>0.00</u>	<u>0.00</u>	<u>0.00</u>	0.00
Expenses - Cap Improve USDA Devel Loan					
Total Expenses - Cap Impr USDA Devel	<u>0.00</u>	<u>0.00</u>	<u>0.00</u>	<u>0.00</u>	0.00
Net Income - Cap Impr USDA Devel Lo	<u>\$ 0.00</u>	<u>\$ 0.00</u>	<u>0.00</u>	<u>0.00</u>	0.00
Revenues - Cap Improve USDA Devel Grant					
Total Revenues - Cap Imp USDA Devel	<u>0.00</u>	<u>0.00</u>	<u>0.00</u>	<u>0.00</u>	0.00
Expenses - Cap Improve USDA Devel Grant					
Total Expenses - Cap Imp USDA Devel	<u>0.00</u>	<u>0.00</u>	<u>0.00</u>	<u>0.00</u>	0.00
Net Income - Capital Improvement	<u>\$ 0.00</u>	<u>\$ 0.00</u>	<u>0.00</u>	<u>0.00</u>	0.00
Revenues - Cap Improve - EPA Grant					
Total Revenues - Cap Improve EPA Gra	<u>0.00</u>	<u>0.00</u>	<u>0.00</u>	<u>0.00</u>	0.00

For Management Purposes Only

NEW Town of Rico - Sanitation Fund
Comparative Income Statement to Budget
For the Six Months Ending June 30, 2022

	YEAR TO DATE ACTUAL	ANNUAL BUDGET	YEAR to DATE BALANCE	CURRENT MONTH ACTUAL	PERCENTAGE FAV (UNFAV)
Expenses - Cap Improve - EPA Grant					
Total Expenses - Cap Improve EPA Gra	0.00	0.00	0.00	0.00	0.00
Net Income - Cap Improve EPA Grant	\$ 0.00	\$ 0.00	0.00	0.00	0.00
TOTAL NET INCOME	\$ 17,189.91	\$ 11,805.00	5,384.91	1,695.42	145.62
Beginning Fund Balance	216,125.38	0.00			
Ending Fund Balance	233,315.29	11,805.00			

NEW Conservation Trust Fund
Comparative Income Statement to Budget
For the Six Months Ending June 30, 2022

	YEAR TO DATE ACTUAL	ANNUAL BUDGET	YEAR to DATE VARIANCE	CURRENT MONTH ACTUAL	PERCENTAGE FAV (UNFAV)
Revenues - Operating					
Total Revenues - Operating	0.00	0.00	0.00	0.00	0.00
Expenses - Operating					
Total Expenses - Operating	0.00	0.00	0.00	0.00	0.00
Net Income - Operating	\$ 0.00	\$ 0.00	0.00	0.00	0.00
Revenues - Other					
Lottery Proceeds	\$ 1,874.29	\$ 2,000.00	(125.71)	867.19	93.71
Total Revenues - Other	1,874.29	2,000.00	(125.71)	867.19	93.71
Expenses - Other					
Rio Grande Southern Extension	0.00	(30,000.00)	30,000.00	0.00	0.00
Total Expenses - Other	0.00	(30,000.00)	30,000.00	0.00	0.00
Net Income - Other	\$ 1,874.29	\$ (28,000.00)	29,874.29	867.19	(6.69)
TOTAL NET INCOME	\$ 1,874.29	\$ (28,000.00)	29,874.29	867.19	(6.69)
Beginning Fund Balance	40,873.93	0.00			
Ending Fund Balance	42,748.22	(28,000.00)			

2018 NEW Town of Rico - Street Fund
Comparative Income Statement to Budget
For the Six Months Ending June 30, 2022

	YEAR TO DATE ACTUAL	ANNUAL BUDGET	YEAR to DATE BALANCE	CURRENT MONTH ACTUAL	PERCENTAGE FAV (UNFAV)
Revenues - Operating					
Property Tax	\$ 8,961.81	\$ 11,805.00	(2,843.19)	987.08	75.92
Sales and Use Tax	10,089.12	20,000.00	(9,910.88)	1,471.27	50.45
Specific Ownership Tax	302.87	500.00	(197.13)	60.10	60.57
Del Tax and Intrest	0.88	15.00	(14.12)	0.88	5.87
Franchise Tax	1,459.94	7,300.00	(5,840.06)	0.00	20.00
Highway Users Tax	7,683.20	12,800.00	(5,116.80)	1,172.90	60.03
County R&B Reapportionment	13,049.77	11,800.00	1,249.77	0.00	110.59
Interest	22.90	30.00	(7.10)	4.34	76.33
Miscellaneous	151.76	500.00	(348.24)	0.00	30.35
DOLA Grant	120,064.04	0.00	120,064.04	0.00	0.00
Rico Center Grant	33,000.00	0.00	33,000.00	0.00	0.00
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Total Revenues - Operating	194,786.29	64,750.00	130,036.29	3,696.57	300.83
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Expenses - Operating					
Payroll Transfer	(20,817.21)	(30,555.00)	9,737.79	(3,649.49)	68.13
Snow Removal	0.00	(5,000.00)	5,000.00	0.00	0.00
Fuel	(5,537.28)	(7,500.00)	1,962.72	0.00	73.83
Equipt Repairs & Maintenance	(6,724.17)	(5,000.00)	(1,724.17)	(188.77)	134.48
Insurance	(6,428.13)	(6,500.00)	71.87	0.00	98.89
Supplies	(173.49)	(2,500.00)	2,326.51	(694.66)	6.94
Electric	(471.00)	(2,000.00)	1,529.00	0.00	23.55
Street Lights	(1,013.00)	(1,500.00)	487.00	(185.00)	67.53
Utilities - Other	(829.07)	(2,500.00)	1,670.93	(145.07)	33.16
Treasurer Fees	(179.24)	(350.00)	170.76	(19.75)	51.21
DOLA Grant - transfer	(120,064.04)	0.00	(120,064.04)	0.00	0.00
Miscellaneous	(25.00)	0.00	(25.00)	0.00	0.00
Capital Improvements	(23.12)	0.00	(23.12)	0.00	0.00
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Total Expenses - Operating	(162,284.75)	(63,405.00)	(98,879.75)	(4,882.74)	255.95
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Net Income - Operating	\$ 32,501.54	\$ 1,345.00	31,156.54	(1,186.17)	2,416.47
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Revenues - Capital Improvement

For Management Purposes Only

2018 NEW Town of Rico - Street Fund
Comparative Income Statement to Budget
For the Six Months Ending June 30, 2022

	YEAR TO DATE ACTUAL	ANNUAL BUDGET	YEAR to DATE BALANCE	CURRENT MONTH ACTUAL	PERCENTAGE FAV (UNFAV)
Excise Tax	\$ 477.50	\$ 1,800.00	(1,322.50)	0.00	26.53
Total Revenues - Capital Improvement	477.50	1,800.00	(1,322.50)	0.00	26.53
Expenses - Capital Improvement					
Equipment Lease Loader	0.00	(25,500.00)	25,500.00	0.00	0.00
Gravel Project - Streets	(986.09)	(5,000.00)	4,013.91	0.00	19.72
Preliminary Maint Facility	0.00	(5,000.00)	5,000.00	0.00	0.00
Total Expenses - Capital Improvement	(986.09)	(35,500.00)	34,513.91	0.00	2.78
Net Income - Capital Improvement	\$ (508.59)	\$ (33,700.00)	33,191.41	0.00	1.51
Revenues - Other					
Total Revenues - Other	0.00	0.00	0.00	0.00	0.00
Expenses - Other					
Total Expenses - Other	0.00	0.00	0.00	0.00	0.00
Net Income - Other	\$ 0.00	\$ 0.00	0.00	0.00	0.00
TOTAL NET INCOME	\$ 31,992.95	\$ (32,355.00)	64,347.95	(1,186.17)	(98.88)
Beginning Fund Balance	72,610.86	0.00			
Ending Fund Balance	104,603.81	(32,355.00)			

NEW Town of Rico - Water Fund
Comparative Income Statement to Budget
For the Six Months Ending June 30, 2022

	YEAR TO DATE ACTUAL	ANNUAL BUDGET	YEAR to DATE BALANCE	CURRENT MONTH ACTUAL	PERCENTAGE FAV (UNFAV)
Revenues - Operating					
Water Revenue	\$ 80,344.97	\$ 127,500.00	(47,155.03)	11,980.23	63.02
Insurance Reimbursement	6,500.00	0.00	6,500.00	0.00	0.00
Interest	34.39	50.00	(15.61)	7.73	68.78
Electric Reimbursement	356.00	1,492.00	(1,136.00)	224.00	23.86
Miscellaneous	0.00	500.00	(500.00)	0.00	0.00
Total Revenues - Operating	87,235.36	129,542.00	(42,306.64)	12,211.96	67.34
Expenses - Operating					
Payroll Transfer	(41,215.05)	(74,000.00)	32,784.95	(7,120.91)	55.70
Professional - Town Attorney	(2,263.86)	(2,000.00)	(263.86)	(82.50)	113.19
Professional - Auditor	0.00	(6,000.00)	6,000.00	0.00	0.00
Repairs/Maintenance	(8,190.64)	0.00	(8,190.64)	(8,190.64)	0.00
Insurance	(6,500.00)	(7,000.00)	500.00	0.00	92.86
Supplies	(3,999.17)	(5,000.00)	1,000.83	(1,873.18)	79.98
Water Samples	(140.00)	(2,500.00)	2,360.00	(35.00)	5.60
Electric	(2,171.00)	(5,500.00)	3,329.00	0.00	39.47
Propane	(1,652.00)	(5,000.00)	3,348.00	(402.00)	33.04
Utilities - Other	(575.00)	(2,000.00)	1,425.00	(115.00)	28.75
Repairs & Maint (tank repair)	0.00	(7,500.00)	7,500.00	0.00	0.00
Employee Benefit - Life	0.00	(50.00)	50.00	0.00	0.00
Dolores Water Conservation Dis	(2,700.05)	(2,700.00)	(0.05)	0.00	100.00
Miscellaneous	(325.00)	(500.00)	175.00	(25.00)	65.00
Total Expenses - Operating	(69,731.77)	(119,750.00)	50,018.23	(17,844.23)	58.23
Net Income - Operating	\$ 17,503.59	\$ 9,792.00	7,711.59	(5,632.27)	178.75
Revenues - Capital Improvement					
DOLA - West Rico Survey	\$ 120,064.04	\$ 0.00	120,064.04	0.00	0.00
Tap Installation	37,500.00	10,000.00	27,500.00	12,500.00	375.00
Water Tank Replacement	0.00	234,500.00	(234,500.00)	0.00	0.00
Total Revenues - Capital Improve	157,564.04	244,500.00	(86,935.96)	12,500.00	64.44

For Management Purposes Only

NEW Town of Rico - Water Fund
Comparative Income Statement to Budget
For the Six Months Ending June 30, 2022

	YEAR TO DATE ACTUAL	ANNUAL BUDGET	YEAR to DATE BALANCE	CURRENT MONTH ACTUAL	PERCENTAGE FAV (UNFAV)
Expenses - Capital Improvement					
Tap Installation	0.00	(7,500.00)	7,500.00	0.00	0.00
Preliminary Maint Facility	0.00	(5,000.00)	5,000.00	0.00	0.00
Water Tank Replacement	0.00	(350,000.00)	350,000.00	0.00	0.00
Water Engineering Service	0.00	(2,500.00)	2,500.00	0.00	0.00
Total Expenses - Capital Improve	0.00	(365,000.00)	365,000.00	0.00	0.00
Net Income - Capital Improvement	\$ 157,564.04	\$ (120,500.00)	278,064.04	12,500.00	(130.76)
Revenues - Other					
Total Revenues - Other	0.00	0.00	0.00	0.00	0.00
Expenses - Other					
Total Expenses - Other	0.00	0.00	0.00	0.00	0.00
Net Income - Other	\$ 0.00	\$ 0.00	0.00	0.00	0.00
TOTAL NET INCOME	\$ 175,067.63	\$ (110,708.00)	285,775.63	6,867.73	(158.13)
Beginning Fund Balance	25,022.03	0.00			
Ending Fund Balance	200,089.66	(110,708.00)			



July 15, 2022

Chauncey McCarthy
Town Manager
Town of Rico
PO Box 9
Rico, CO, 81332

RE: Engagement of Northland Securities as Placement Agent

Dear ____:

The purpose of this letter is to comply with federal regulations. Federal security regulations require you to affirmatively engage Northland Securities before we can provide you with advice on the issuance of municipal securities acting in the capacity of placement agent. This letter establishes the engagement.

The Town of Rico (the "City") seeks to engage Northland Securities to serve as placement agent, and not as a financial advisor or municipal advisor, in connection with the issuance of lease purchase to fund (the "Issue"). This engagement applies solely to the Issue. The engagement is nonbinding. The City is under no obligation to undertake the Issue. The City may determine not to undertake a private placement and to engage Northland in a role other than a placement agent.

The City desires Northland to provide all of the services needed to create and execute a plan to privately place the Issue, including:

1. Advice regarding the structure, timing, terms, and other similar matters (including actions needed to authorize the issuance) of the Issue.
2. Assistance in the preparation of a placement term sheet.
3. Assistance with the closing of the Issue, including discussion with respect to all documents, certificates, and opinions needed for such closing.
4. Coordination with respect to the registration of the Issue as typewritten bonds.
5. Preparation of post-sale reports for such municipal securities.

In acting as placement agent, Northland has a duty under rules of the Municipal Securities Rulemaking Board (MSRB) to make certain disclosures to the City concerning its role, its compensation, and actual or potential material conflicts of interest. In engaging Northland in this capacity, the Issuer should be aware of the following:

1. Acting as placement agent for the Issue, Northland will provide advice to the City with respect to the structure, timing, terms, and other similar matters concerning the Issue. The City is responsible for understanding and assessing the implications of the Issue.
2. Northland will arrange for the placement of the Issue in an arm's-length commercial transaction with the City. In this process, Northland is required to deal fairly at all times with both the City and the purchaser of the Issue (the "Purchaser"). Northland has a duty to

Main 612-851-5900 | Toll Free 800-851-2920

150 South 5th Street, Suite 3300 | Minneapolis, MN 55402

place the Issue with a Purchaser who will purchase the Issue from the City at a fair and reasonable price, but must balance that duty with its duty to place municipal securities with the Purchaser at a price that is fair and reasonable.

3. Under federal securities laws Northland does not have a legal fiduciary duty to the City (unlike a municipal advisor) and is, therefore, not required by federal law to act in the best interests of the City without regard to its own financial or other interests. Northland has financial and other interests that differ from those of the Issuer.
4. The City may choose to engage the services of a municipal advisor with a fiduciary obligation to represent the City's interest in this transaction.
5. Northland will coordinate the issuance process including closing and delivery of proceeds.
6. Depending on the structure of the transaction that the City decides to pursue, Northland will disclose any additional potential or actual material conflicts, inclusive of any dealer specific or complex financing disclosures, related to this engagement. We will seek your acknowledgement of receipt of any such additional disclosures.
7. Northland's compensation is based on the size of the Issue and is contingent on the closing of the Issue (see below). The MSRB has identified this means of compensation as presenting a conflict of interest, because it may cause Northland to recommend a transaction that it is unnecessary or to recommend that the size of the transaction be larger than is necessary.

For serving as placement agent with respect to the Issue, Northland shall be paid a placement fee based on the total par amount of the Issue. A "not to exceed" amount for the placement fee will be determined when the actual terms of the Issue have been set and therefore compensation is not included as part of this letter. The compensation due to Northland shall be deducted from proceeds at closing.

Northland agrees to pay the following expenses from its fee:

- Out-of-pocket expenses such as travel, long distance phone, and copy costs.
- Preparation of the bond transcript.

The City agrees to pay for all other expenses related to the processing of the Issue including, but not limited to, the following:

- Engineering and/or architectural fees.
- Publication of legal notices.
- Bond counsel and local attorney fees.
- Fees for various debt certificates.
- City staff expenses.
- Accounting and other related fees.

It is expressly understood that there is no obligation on the part of the City under the terms of this engagement to undertake the Issue. If not issued, Northland agrees to pay its own expenses and receive no fee for any services it has rendered.

You have been identified by the Issuer as a primary contact for the Issuer's receipt of these disclosures. It is our understanding that you are not a party to any disclosed conflict of interest relating to the transaction and have the authority to bind the Issuer by contract with us. If our understanding is incorrect, please notify us immediately.

If you or any other Issuer officials have any questions or concerns regarding these disclosures, please make those questions or concerns known immediately to Northland. In addition, you should consult with your own financial and/or municipal, legal, accounting, tax and other advisors, as applicable, to the extent you deem appropriate.

We look forward to working with you on this Issue. I would be happy to discuss this letter, these disclosures, our relationship with the City for the Issue, or other aspects of applicable federal securities regulations.

To engage Northland Securities as placement agent for the Issue as described in this letter, please sign and return this letter. In signing this letter, the City acknowledges and accepts the representations made in this letter.

Sincerely,

Chauncey McCarthy
Town Manager

Engagement of Northland Securities as placement agent and receipt of related disclosures acknowledged by Town of Rico.

Date: _____
Name: _____
Title: _____

DRAFT**BUILDING USE AGREEMENT**

THE TOWN OF RICO (the “Town”) agrees to the following Terms and Conditions in consideration of permission for the use of the former Rico Elementary School building (the “Building”) granted by Dolores County School District RE-2J (the “District”).

1.0 THE BUILDING

- 1.1 The Building, parking lot, and associated property located at 101 South Glasgow Avenue, Rico, CO 81332, are collectively referred to herein as the “Building,” and are all available for the Town’s use hereunder.
- 1.2 The Building shall be used by the Town for the following purposes only:

_____.
- 1.3 The Town’s use of the Building may be cancelled upon sixty (60) days’ notice if the District, in the District’s sole discretion, determines that the use of the Building is required for District purposes.
- 1.4 The Superintendent of the District will be the District representative who has the authority and responsibility to act as liaison with the Town concerning the Town’s use of the Building.
- 1.5 The Town shall not be required to pay any rent or charges for the use of the Building, but shall pay all utility fees and charges relating to the Building, and the costs of all activities scheduled and conducted by the Town or others in the Building.
- 1.6 Use of the Building shall be subject to all applicable provisions of state and federal law.

2.0 MAINTENANCE AND COSTS

- 2.1 The Town shall be responsible for all maintenance of the Building except as follows:

_____.
- 2.2 The Town shall be responsible for all vandalism or damages other than ordinary wear and tear occurring as a result of the Town’s use of the Building. If damage for which the Town is responsible occurs, the District shall determine the reasonable repair costs due the District and the Town shall remit payment in that

amount within forty-five (45) calendar days after receiving written notice of the costs.

3.0 SUPERVISION

- 3.1 The Town shall be responsible for providing complete and adequate supervision of the Building and all activities related to its use.
- 3.2 The District may review the arrangements made for supervision by the Town. If the District believes the supervision to be inadequate, it may require further arrangements or cancel the proposed use.

4.0 INSURANCE/INDEMNITY

- 4.1 The Town indemnifies and holds harmless the District, its officers, directors, agents and employees against any claims, damages, awards or other matters of whatsoever nature arising out of or related to use by the Town of the Building.
- 4.2 The Town shall maintain in force at all times this Agreement is in effect the following insurance coverages: General liability insurance in an amount equal to the monetary limits of liability set forth in the Colorado Governmental Immunity Act as now in effect or as hereinafter amended.
- 4.3 The Town shall provide to the District evidence of such insurance by way of certificates of insurance which shall show the District as an additional insured and which shall provide that such insurance will not be canceled or modified without thirty (30) days prior written notice to the District.

5.0 TERM

- 5.1 This Agreement shall become effective July 1, 2022, and expire June 30, 2024.
- 5.2 This Agreement shall automatically be renewed at the expiration date of any term for an additional term of the same length unless either party gives written notice to the other not less than thirty (30) days in advance of the expiration date, stating the intent to cancel this Agreement at the end of the term.
- 5.3 This Agreement may be canceled by either party with or without cause by giving the other party sixty (60) days written notice.

6.0 MISCELLANEOUS

- 6.1 This Agreement is the entire agreement between the parties and may be changed or modified only by written agreement of the parties. All previous written or oral understandings and agreements by the parties are superseded by this Agreement.

- 6.2 This Agreement shall be construed under the laws of the state of Colorado. Venue for any legal proceeding arising from or in connection with this Agreement shall be in the District Court of Dolores County, Colorado, located in Dove Creek, Colorado.
- 6.3 If any of the terms of this Agreement are in conflict with any rule of law or statutory provision, then those terms shall be deemed inoperative and null and void to the extent of that conflict, but the remaining provisions of this Agreement shall remain in full force and effect.
- 6.4 This Agreement and the rights to use the Building or any part thereof shall not be assigned or subleased by the Town without the express written permission of the District.

IN WITNESS WHEREOF, the parties hereto have set their hands and seals the day and year first above written.

DOLORES COUNTY SCHOOL DISTRICT RE-2J

ATTEST:

Secretary, Board of Education

By: _____
President, Board of Education

TOWN OF RICO

Mayor

CHRISTINE FISCHER

PROFESSIONAL / VOLUNTEER HISTORY & EDUCATION

719-651-3589; 2409 Rampart Range Road, Woodland Park, CO 80863; christine@fpmgrants.com

Professional Work Experience:Fischer Project Management and Consulting Services, Inc. / FPM Grants – Owner; 2010 - Present

Grant Writing / Project Management

- Successful owner of grant writing and project management company
- Overall grant funding rate over 90%, with proven expertise in capital projects
- More than \$14 Million dollars in funding raised since inception of business, including a \$1M DOLA grant
- Unique ability to scope a project for best success in grant application process
- Research of grant options available for various interests/funding needs
- Successful client vision/mission/prioritization work to align with grant opportunities
- Grant success ranging from private funders, public funders, state agencies, and federal programs
- Grant reviewer for GOCO, CDE, CDBG
- Program consultant for Colorado Health Foundation Middle School Outdoor Learning Environment Program

Employed by Hewlett-Packard Company for 14 years in multiple professional positions, including:

Project Management / International Relations

- Responsible for managing multiple projects and partners locally, nationally and internationally
- Responsible for providing project scope, budget, timeline, reports, presentations, and final closure of projects
- Primary contact for international counterparts in product distribution
 - Included: Mexico, Singapore, Germany, and China
- Responsible for ensuring all international relationships were effective and productive
- Responsible for coordination of worldwide partner meetings to align strategies, vision, and work methods

Education:Regis University: Summa Cum Laude, 4.0 G.P.A.

Bachelor of Science, School for Professional Studies

Business Administration, Specialization: International Business, Minor: Marketing

Volunteer Experience:Habitat For Humanity Board Member, Teller County – October, 2015 – August 2016

- Recommended by Executive Director for position on board

Fair Advisory Board Associate Member, El Paso County -- May, 2010-Fall 2011

- Recommended by Tim Wolken, El Paso County, for position on board

Community Development Advisory Board, El Paso County – Fall 2009 – May, 2010

- Appointee by Commissioner Amy Lathen, as her district representative to the board
- Vice-President of the board
- Responsible for creating process for Advisory Board, as member of first CDAB Board for El Paso County

Board President, Windsor Charter Academy – 2000 - 2001

- Responsible for helping WCA open doors for business; recruited director of excellence for WCA
- Responsible for co-creating board structure, policies & procedures for WCA
- Created a lasting relationship between WCA, the Windsor School District, and the Colorado League of Charter Schools

Personal and Professional Characteristics:

- Married, mother of three children ages 27, 23 and 16.
- Integrity, honesty, accuracy, perseverance, tenacity & proven ability to produce results

References Available Upon Request

ANAIS SPITZER, PH.D.

PROFESSIONAL NON-PROFIT WORK HISTORY & EDUCATION

719-357-6565

anaisspitzer.com

Professional Work Experience:Spitzer Consulting – Owner, 2019 - Present

- Successful owner of consulting business specializing in working with non-profits to build strategy, capital and capacity
- Raised \$4.5 million since inception of business
- Overall grant funding rate of 92% with proven expertise in capital projects
- Successful track record of leading organizations through strategic planning, organizational restructuring, operational process development and re-engineering, and fundraising

Palmer Land Trust – Director of Operations, 2015 -2018

- Doubled unrestricted fundraising
- Grew organizational capacity by 50%
- Managed multi-million-dollar, multi-year, large-scale land conservation projects in a 12-county area
- Awarded \$4 million in grants during tenure
- Developed and launched new four-year strategic plan and led the organization's creation of a vision and core values
- Re-engineered all operational processes and departments from Finance to Human Resources, improving efficiency, building more rigorous tracking and accountability, and earning the organization accreditation with distinction by an independent accreditation agency

United States Anti-Doping Agency – TrueSport Managing Strategist, 2012 -2015

- Built an organization (TrueSport) within USADA with its own separate Strategic Plan, organizational goals, staff and budget
- Reached over 1 million participants nationwide in launch year
- Created and launched proofs of concept in the forms of an app, sport camp curriculum, incentive-based interactive games, university programming, and training for coaches
- Built large-scale national partnerships with NCAA, Division 1 Universities, and National Governing Bodies of sport such as USA Swimming and USA Track and Field
- Successful accreditation of curriculum with distinction through NCACE

Education:**Ph.D. in Cultural Studies with emphasis in Continental Philosophy**

Pacifica Graduate Institute, Santa Barbara, CA

M.A. in Cultural Studies and Comparative Religions

Syracuse University, Syracuse, NY

Pacifica Graduate Institute, Santa Barbara, CA

B.A. in English, Departmental Honors Program

University of Texas, Austin, TX

Other Relevant Experience and Current Volunteer Positions:Trained in leading Compression Planning™ through the Compression Planning Institute

- Compression Planning is a technique used to bring a wide variety of key stakeholders to the table to problem-solve, build consensus, and strategize a path forward on complex issues in a condensed amount of time

Former academic and peer-reviewed authorPresenter at over a dozen international and national conferencesManitou Springs School District Accountability Committee

- Appointed by Superintendent
- Teaching and Evaluation Sub-Committee

Providing Strategic Concept to Closure Grant-Funded Capital Project Management

We are a decade-long proud partner of rural, low-income communities and their agency partners, with specialization in concept to closure turnkey grant-funded park and playground projects. To make costs manageable for these partners, we are willing to share the risk of total project costs with partners, and can take a project from concept to closure, or assist anywhere in-between.

We plug immediate infrastructure and expertise into any organization the moment they engage our services, bringing:

- 20+ years of collective proven experience (in partnership with Spitzer Consulting)
- \$18M+ combined funds raised (in partnership with Spitzer Consulting)
 - \$11M+ specific to parks and recreation
- 36 projects completed across Colorado (and counting!)
- Consultant for The Colorado Health Foundation Middle School Project; completing 8 projects in less than a year
- Proven Technical Assistance for The Colorado Health Foundation
- Award Winning Business Accolades: Colorado Lottery Starburst Business Winner (2015)
- 10 Award Winning Projects: Colorado Lottery Starburst Project Award Winners
- Proven, trusted, fully vetted relationships with vendors, partners, and funders across the State of Colorado

We offer a variety of services, and pride ourselves on being flexible to customize services for each community we work with, to help each community create a project that meets their individual wants and needs.

A list of the most requested services our clients ask for:

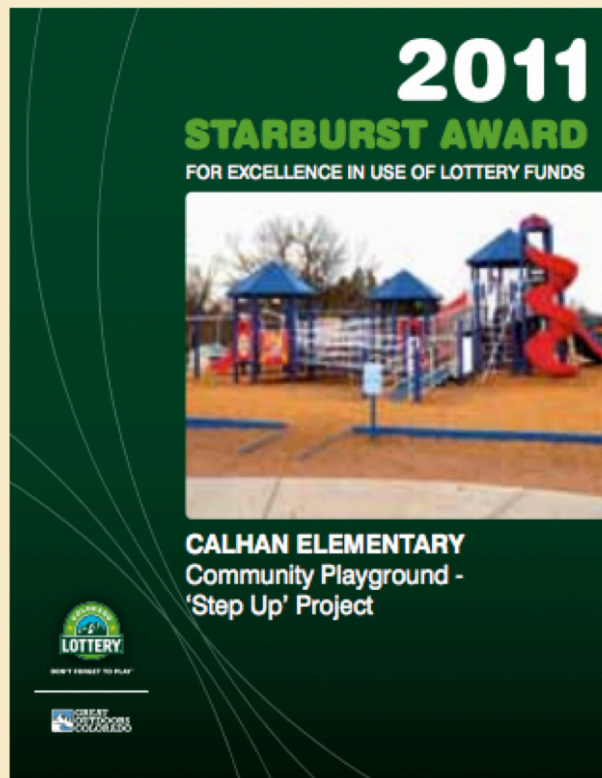
- Act as primary contact with funder(s), on behalf of CLIENT, to ensure accurate and consistent communications.
- Leverage experience and expertise to help bring to fruition, secure funding for, manage, and complete a professional and competitive grant-funded project.
- Development of project funding strategy utilizing experience and long-standing funder relationships to best position application and maximize project success.
- Lead CLIENT through comprehensive community input process, alongside selected vendor, to facilitate playground design process for a community driven design – Never a top down/forced design!
- Provide comprehensive design and maintenance budgets and associated implications in final project design(s) to CLIENT, for consideration in final project scope. All final design decisions are made by the CLIENT.
- Project Creation and Design/Budget for application to funder(s).
- Create a project timeline to include design, application, and construction of the project. Timeline includes all interrelated components to ensure project success.
- Complete all aspects of the grant applications, with CLIENT providing supporting documents, data, and information as requested in a timely manner.
- Provide research and assistance leading CLIENT through process to select vendor for project.
- Manage creation of project design(s) with assistance of vendor for CLIENT consideration and modification/input.
- Execution and management of grant writing and completion of all aspects of grant applications, including ensuring internal operational processes align with funder requirements and compiling all grant attachments/requirements for application.
- Management of all aspects of grant funding: award dates, cash flow requirements from funders, build approval requirements and associated dates, and interim and final reporting requirements.
- Ensure compliance and submittal of all funder requirements for all awarded grants.
- Close out project with funders (all final reporting requirements and/or letter of closure).

FPM Grants, Grant Writing History/Funds Raised - Exclusive to Playgrounds, Parks, Community projects - Updated: June 2021

NOTE: Green Highlighted Projects are winners of the esteemed Starburst Award from the Colorado Lottery, for excellence in use of lottery funds

County	Client	Grant/Project Description	Amount Funded
Chaffee	Salida School District	Football Field Project	\$ 50,000.00
Chaffee	Salida School District	Football Field Project	\$ 350,000.00
Conejos	South Conejos (Antonito)	Middle School Playground	\$ 121,230.00
Crowley	Crowley County / Ordway	Playground & Park Project	\$ 150,000.00
Crowley	Crowley County / Ordway	Playground & Park Project	\$ 288,651.00
Delta	Paonia School District	Master Planning Project for playground/community space	\$ 75,000.00
Denver	Denver, Private Party	Park Project	\$ 350,000.00
Denver	Denver, Private Party	Park Project	\$ 700,000.00
Eagle	Avon, Town of	Park Renovation Project	\$ 350,000.00
Eagle	Avon Elementary - Eagle County School District	School Playground	\$ 150,000.00
El Paso	Calhan School	Playground Project	\$ 5,000.00
El Paso	Calhan School	Playground Project	\$ 200,000.00
El Paso	Calhan, Town of	Ball Field Project	\$ 100,000.00
El Paso	Calhan, Town of	Ball Field Project	\$ 50,000.00
El Paso	Calhan, Town of	Ball Field Project	\$ 200,000.00
El Paso	Colorado Springs, D11 - Centennial Elementary	School Playground	\$ 190,000.00
El Paso	Frontier Charter Academy	Playground	\$ 50,000.00
El Paso	Frontier Charter Academy	Playground	\$ 150,000.00
El Paso	Frontier Charter Academy	Playground	\$ 200,000.00
El Paso	Miami Yoder School District	Playground Project	\$ 50,000.00
El Paso	Miami Yoder School District	Playground Project	\$ 50,000.00
El Paso	Miami Yoder School District	Playground Project	\$ 5,000.00
El Paso	Miami Yoder School District	Playground Project	\$ 200,000.00
El Paso	RCCDI	Pool Project Funding	\$ 697,707.00
Fremont	Canon Exploratory School	Middle School Playground	\$ 168,809.00
Huerfano	Huerfano Elementary	School Playground	\$ 295,768.00
Huerfano	Huerfano Preschool	School Playground	\$ 155,000.00
Jefferson	BeyondHome	Multi-park/playground improvements on site (3)	\$ 250,000.00
Kit Carson	Arriba-Flagler	Middle School Playground	\$ 120,000.00
Kit Carson	Burlington, City of	Parmer Park Project	\$ 50,000.00
Kit Carson	Burlington, City of	Parmer Park Project	\$ 150,000.00
Kit Carson	Burlington, City of	Parmer Park Project	\$ 350,000.00
Kit Carson	Burlington Elementary	School Playground	\$ 295,768.00
Kit Carson	Burlington Middle School	School Play Yard Initiative Project	\$ 50,000.00
Kit Carson	Burlington Middle School	School Play Yard Initiative	\$ 100,000.00
Kit Carson	Stratton, Town of	Park Project	\$ 30,000.00
Kit Carson	Stratton, Town of	Park Project	\$ 100,000.00
Moffat	Maybell	School/Park Project	\$ 125,000.00
Montezuma	Dolores Middle School	Middle School Playground	\$ 123,975.00
Montezuma	Montezuma Cortez / LAES	MCMS and LAES School Playgrounds	\$ 699,955.00
Montrose	Montrose School District / City of Montrose	Centennial Middle School Adaptive Needs Playground	\$ 350,000.00
Montrose	Montrose School District / City of Montrose	Centennial Middle School Adaptive Needs Playground	\$ 250,000.00
Montrose	Montrose School District /Centennial Middle (Montrose)	Middle School Playground	\$ 174,486.00
Montrose	Nucla, Town of	Park Project	\$ 197,666.00
Montrose	Nucla, Town of	Park Project	\$ 100,000.00
Otero	Swink, Town of	Park Project	\$ 350,000.00
Otero	Swink, Town of	Park Project	\$ 50,000.00
Otero	Swink, Town of	Park Project	\$ 150,000.00
Park	Lake George Charter School	Playground / Fitness Trail Project	\$ 150,000.00
Phillips	Phillips County	ADA Playground / Community Field Project	\$ 50,000.00
Phillips	Phillips County	ADA Playground / Community Field Project	\$ 200,000.00
Prowers	Lamar	Baseball Field Complex	\$ 239,822.00
Pueblo	Pueblo, County of	New Baseball Field	\$ 350,000.00
Pueblo	Pueblo - St. Joseph's Parish	New Playground/Community space	\$ 150,000.00
Rio Blanco	Barone Middle School	Middle School Playground	\$ 83,230.00
Rio Blanco	Meeker Lions Club	Park Project	\$ 150,000.00
San Miguel	Norwood School District	Playground Project	\$ 336,593.00
Teller	Cripple Creek Victor	Middle School Playground	\$ 125,962.00
Teller	Gateway Elementary School - WPSD - City of WP	Rubber Mulch / Playground	\$ 50,000.00
Teller	Gateway Elementary School - WPSD - City of WP	Playground / Community Field	\$ 350,000.00
Cumulative Total of all Funds Raised:			\$ 11,654,622.00

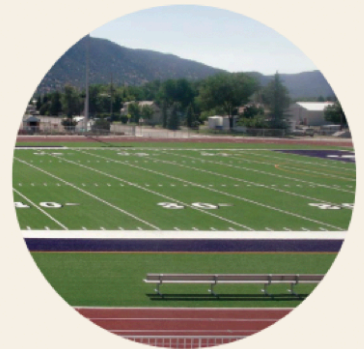
Award Winning Projects: Starburst Excellence in use of Colorado Lottery Funds



CITY OF BURLINGTON
PARMER PARK



PHILLIPS COUNTY
HOMESTEADER'S PARK PLAYGROUND,
TURF FIELD AND DISC GOLF COURSE



CITY OF SALIDA
SALIDA TURF FIELD

Photographs taken by Installation Team Upon Project Completion

MCMS





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